

**BID PROPOSAL FORM**  
**Itasca County HRA**  
**Single Family Home Development**

**Project Location:** Site of Former Forest Lake Elementary

Prime Contractor Name: \_\_\_\_\_

The undersigned, having carefully examined the site, locale, all conditions affecting the cost of the work, the Drawings and Project Specifications; referred to herein collectively as the Contract Documents; hereby affirms and agrees to furnish all labor, materials, equipment, and other items of expense necessary to perform and complete the entire work in accordance with the Contract Documents for the following sums:

We, as bidder, hereby propose, and if this proposal is accepted, agree to enter into a Contract agreement with the Owner to complete the CONSTRUCTION WORK for the Project, all as specified in, and in strict accordance with the plans and specifications, as prepared by acting as, and in these contract documents entitled, the Architect/Engineer, for the following sums:

**Base Bid Amount:** Construction of 4 homes (2-two bedroom and 2-three bedroom)

All labor, materials, services, and equipment necessary for completion of the Work shown on the Drawings and Specifications, the sum of \_\_\_\_\_ Dollars  
(\$ \_\_\_\_\_) per two bedroom home and \_\_\_\_\_ Dollars  
(\$ \_\_\_\_\_) per three bedroom home.

Total sum for four homes is then \$ \_\_\_\_\_ Dollars.

**Bid Alternate #1 Amount:** Construction of 8 homes (4-two bedroom and 4-three bedroom)

All labor, materials, services, and equipment necessary for completion of the Work shown on the Drawings and Specifications, the sum of \_\_\_\_\_ Dollars  
(\$ \_\_\_\_\_) per two bedroom home and \_\_\_\_\_ Dollars  
(\$ \_\_\_\_\_) per three bedroom home.

Total sum for eight homes is then \$ \_\_\_\_\_ Dollars

**ADD ALTERNATES (pricing to include material and labor)**

The above Lump Sum Base Bid may be modified in accordance with the following Alternates as may be accepted by the Owner:

*All Bidders must provide pricing for all Bid Add Alternates:*

**Add Alternate 1:**

Detached Garage: Provide a unit price for a 24' x 24' 2 car garage, 16' x 7' overhead door, 3' man door, 2 windows, and an automatic garage door opener on a concrete slab and apron. Siding color and shingles to match house. Garages may or may not be built at all sites, depending on pricing.

Add: \_\_\_\_\_ dollars  
(\$ \_\_\_\_\_) Lump sum per garage

**Add Alternate 2:**

Detached Garage: Provide a unit price for a 12' x 22' 1 car garage, 9' x 7" overhead door, 3' man door, 2 windows. Automatic garage door opener, on a concrete slab and apron. Siding color and shingles to match house. Garages may or may not be built at all sites, depending on pricing.

Add: \_\_\_\_\_ dollars  
(\$ \_\_\_\_\_) Lump sum per garage

**Completion Time:**

If this proposal is accepted, the Bidder agrees to complete the work as specified within \_\_\_\_ calendar days from the date of issuance of the "Notice to Proceed".  
Please note completion dates in Bidder Instructions.

**Withdrawal of Bid:**

Bidders acknowledge that bids submitted shall be effective and may not be withdrawn for a period of ninety (90) days following the date of the bid opening. If written notice of acceptance of this bid is mailed, or delivered to the undersigned within ninety (90) days after the opening thereof, or at any time hereafter before this bid is withdrawn, the undersigned agrees to execute and deliver a contract in the prescribed form within (10) days after the Notice of Award of Contract is awarded to him/her for signature.

**Method of Award:**

It is the owner's intention to award a singular contract for all work identified in the Plans and Specifications. A contract for the Work may be awarded to the qualified/responsible bidding contractor(s) who has been determined to be the low bidder for the project (Based bid, Alternates and Add Alternates) based on the Owner's available funds.

**Addenda Nos.** \_\_\_\_\_ are hereby acknowledged.

Legal Name of Person, Firm or Corporation (State whether bidder is a sole proprietor, a partnership, or a corporation and the State in which it is incorporated):

\_\_\_\_\_

Owner must take affirmative steps to assure that targeted vendors from businesses with active certifications through the following entities are used when possible:

Certified Targeted Group, Economically Disadvantaged and Veteran-Owned Vendor List – State Department of Administration (<https://www.mmd.admin.state.mn.us/process/search/>)

Metropolitan Council Underutilized Business Program: MCUB  
(<https://mnucp.metc.state.mn.us/>)

Small Business Certification Program through Hennepin County, Ramsey County, and City of St. Paul: (<https://cert.smwbe.com/Default.asp?>)

Is the Bidder actively certified through any of the above entities? \_\_\_\_\_

This proposal is submitted after careful study of the plans and specifications and from a personal knowledge of the conditions at the building site, which knowledge was obtained from the under-signed's own source of information, and not from anyone connected to the Owner. The Undersigned does declare that this proposal is made without improper connection with any other person or persons, making a proposal on this same contract, and is in all respects fair and without collusion or fraud, and the undersigned does further declare that no person or persons acting in any official capacity for the Owner directly, or indirectly, is interested therein, or in the supplies, or work to which it relates, or in any portion of the profits thereof.

By \_\_\_\_\_

Title \_\_\_\_\_

Address \_\_\_\_\_

End of Bid Proposal Form

April 18, 2023

## **BIDDING REQUIREMENTS**

### **CONSTRUCTION OF FOUR TO EIGHT SINGLE-FAMILY RESIDENTIAL HOMES IN GRAND RAPIDS**

**PROJECT OVERVIEW:** The Housing and Redevelopment Authority (HRA) of Itasca County is requesting proposals for the construction of four single family homes, in Grand Rapids, MN. The homes will be constructed on residential lots at the site of the former Forest Lake School. See attached plans - the HRA intends to construct two of the two-bedroom designs and two of the three-bedroom designs. Homes must meet Minnesota Green Communities criteria and be energy star certified. The HRA intends to use this proposal process to identify a contractor to undertake the construction of four and up to eight homes. Construction should begin summer of 2023/ early fall 2023 and be substantially completed by March 1, 2024, with the exception of exterior items such as landscape and sidewalks which will be complete by a date to be negotiated. The Project is supported by local and state grant programs.

Bid alternate 1 is for the construction of a total of eight homes. In this case, the date to be completed will be extended to June 30<sup>th</sup>, 2024. The eight homes will consist of 4-two bedrooms and 4-three bedrooms per the designs.

**PROPOSALS:** Builders wishing to be considered must submit proposals as follows:

- Bid Proposal Form – Proposals must include a completed and signed Bid Proposal Form.
- Experience – Proposals must contain a written narrative outlining experience in single family home construction and sustainable/green construction. Please include any experience you have had in working with local, state and/or federal funds. Proposals must include three (3) client references, a list of all the homes constructed from 2020 through 2023, including specific addresses, square footages, completion dates, and construction prices. Photos can be attached.
- Timeline - Provide a construction schedule for the completion of all homes from permitting to Certificate of Occupancy.
- Pricing & Payment - Provide a firm fixed price for each home on the Bid Proposal Form and a written commitment that prices submitted will remain in effect through completion of this project. Also, provide a description of your billing procedure over the course of the project.

Additional Documentation - All submissions must include: • Copy of builder's contractor license; • Proof of General Liability, Risk, and Workers Compensation insurance coverage

**PLANS & SPECS:** Elevations and specifications are available on the HRA website at the following link: <https://www.itascacountyhra.org/>

**QUESTIONS, REVIEW & SELECTION:** Proposals must be submitted or mailed to the address below. All submittals must be received no later than **11 a.m. on Tuesday, May 9<sup>th</sup>, 2023, with a public bid opening at 11 a.m. at the HRA offices, 1115 NW 4<sup>th</sup> Street, Grand Rapids, MN.** Any questions should be referred to:

Diane Larson, Executive Director  
[diane@itascacountyhra.org](mailto:diane@itascacountyhra.org)  
HRA of Itasca County  
1115 NW 4<sup>th</sup> Street  
Grand Rapids, MN 55744

**IMPORTANT:** Late or incomplete proposals will not be accepted. All accepted proposals will be opened publicly at our office on Tuesday, May 9, 2023, at 11 a.m.

Proposing builders may be contacted for additional information, and may be invited to meet with, or make formal presentations to the HRA as part of the review process. The HRA of Itasca County reserves the right to engage in discussions or negotiations with none, any, or all proposing builders as part of the selection process. It reserves the right to select or reject any or all proposals, and if deemed necessary, to engage in subsequent builder proposal rounds. After selection, the HRA and the Builder will finalize all outstanding matters and execute a contract for construction of four or eight homes.

**SPECIFIC REQUIREMENTS:**

1. All requirements and standards must be included in a FIRM FIXED CONSTRUCTION PRICE submitted by Builder with Proposal/Bid and shall become part of a Construction Agreement/Contract between the HRA and Builder. Builder may not assign construction agreement to another party.
2. All materials and workmanship must conform with current Energy Star/MN Green Communities criteria.
3. Builder shall provide the HRA a detailed list of all individuals and entities that have a contract with Builder to perform any portion of work at the site ("Subcontractor"), including names, addresses, Federal ID numbers, and dollar amount of subcontracts, prior to construction start.
4. Final payment will only occur after the municipality has issued a Certificate of Occupancy and energy star certificate has been received.
5. Builder is responsible for exact measurements, materials, and labor needed for bidding purposes. Bids must include all labor and materials to complete the job in a workmanship- like manner.
6. All costs to complete the Work described in these specifications and included on any drawings or plans should be included in these line items. Any scope of work Builder does not believe is covered but is needed for a workman-like completion of the Work, should be discussed with the HRA before submitting a Proposal/Bid.
7. All materials used are to be new, of first quality and without defects, except in the case of harvest, salvaged, or recycled materials used in finishes, trim, etc., which have been approved by the HRA.
8. Change orders are for unforeseen circumstances or substantial changes to the Scope of Work only. All reasonable costs to complete the Work in the manner outlined in this document and submitted with Builder's Proposal/Bid are assumed to be included in the original contract.
9. The HRA **must** approve and execute all change orders in writing before additional Work is started.

10. Builder will work closely with the HRA to resolve any defects in materials or workmanship. Builder agrees to remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting there from, in accordance with the timeframe indicated in the current state statute.

11. Builder must be licensed in accordance with State and/or municipality and approved as an Energy Star Builder.

12. Builder must apply for, and obtain, all required Permits. Builder must comply with all rules of the permitting process as established by the municipality where building.

13. All work will comply with any and all applicable Federal, State and local Codes and Ordinances.

14. Builder understands that grant funds used by the HRA to underwrite project costs require oversight and approvals.

15. Builder will submit to the HRA a listing of all Minnesota State sales tax paid for any materials by them and/or subcontractors at construction close-out. The HRA will provide a form for the builder and each subcontractor to complete.

16. Visitable unit design and construction allow people with mobility impairments to enter and comfortably stay for a duration. This project must meet the following visit-ability requirements:

- 32-inch clear opening doorways throughout the Qualified Dwelling Unit;
- At least one no-step entrance; and
- A half bath, or larger bathroom, on the main level.

## **GENERAL REQUIREMENTS**

1. The primary goals for this project are superior building performance balanced with efficiency and economy of systems. The Contractor is encouraged to offer input as to materials, methods and equipment that will enhance these goals.

2. Any changes sought by the contractor regarding materials or methods outlined in the construction documents shall be approved in writing by the Owner.

3. General code requirements:

- a. Building materials, construction methods, heating, ventilation, and other mechanical systems will conform to or exceed MN State Energy Code chapter 1322.
- b. Building construction will conform to or exceed the requirements of the current Minnesota State Residential Code, or any more stringent local codes currently adopted.

4. Applicable design standards and regulations: The project shall meet or exceed the following standards:

- a. Current State of Minnesota and City of Grand Rapids Building Codes
- b. Minnesota Green Communities (MNGC) criteria for Single Family (SF) homes
  - i. Project shall be MNGC certifiable
  - ii. Certification checklists, submittals and verification to be by Owner
- c. The project must be certified under the most current EnergyStar program (per MNGC requirements)
- d. The General Contractor is encouraged to hire local, minority and woman-owned businesses.

5. The General Contractor shall provide the following services as part of the contract:

- a. Cost estimating
- b. Energy Star Compliance paperwork and Checklists
- c. Special inspections, if any, are by Owner
- d. Compilation of O&M manuals, as-built drawings, and warranty information, 2-copies, in an organized binder

6. Additional items to be paid and coordinated by the General Contractor:

- a. Building Permit
- b. All utility hook-ups and fees.
- c. Builder's Risk Insurance for amount of construction contract
- d. Temporary power during construction
- e. Final cleaning
- f. Street closures, barricades, and street cleaning as required.
- g. Temporary heat, if needed
- h. Site security as required (fencing, storage, monitoring etcetera)

7. Unit pricing: Unit prices may be provided for materials if they are identified by line item and quantity.

**All Bidders must provide pricing for all Bid Add Alternates:**

Bid Add Alternate 1:

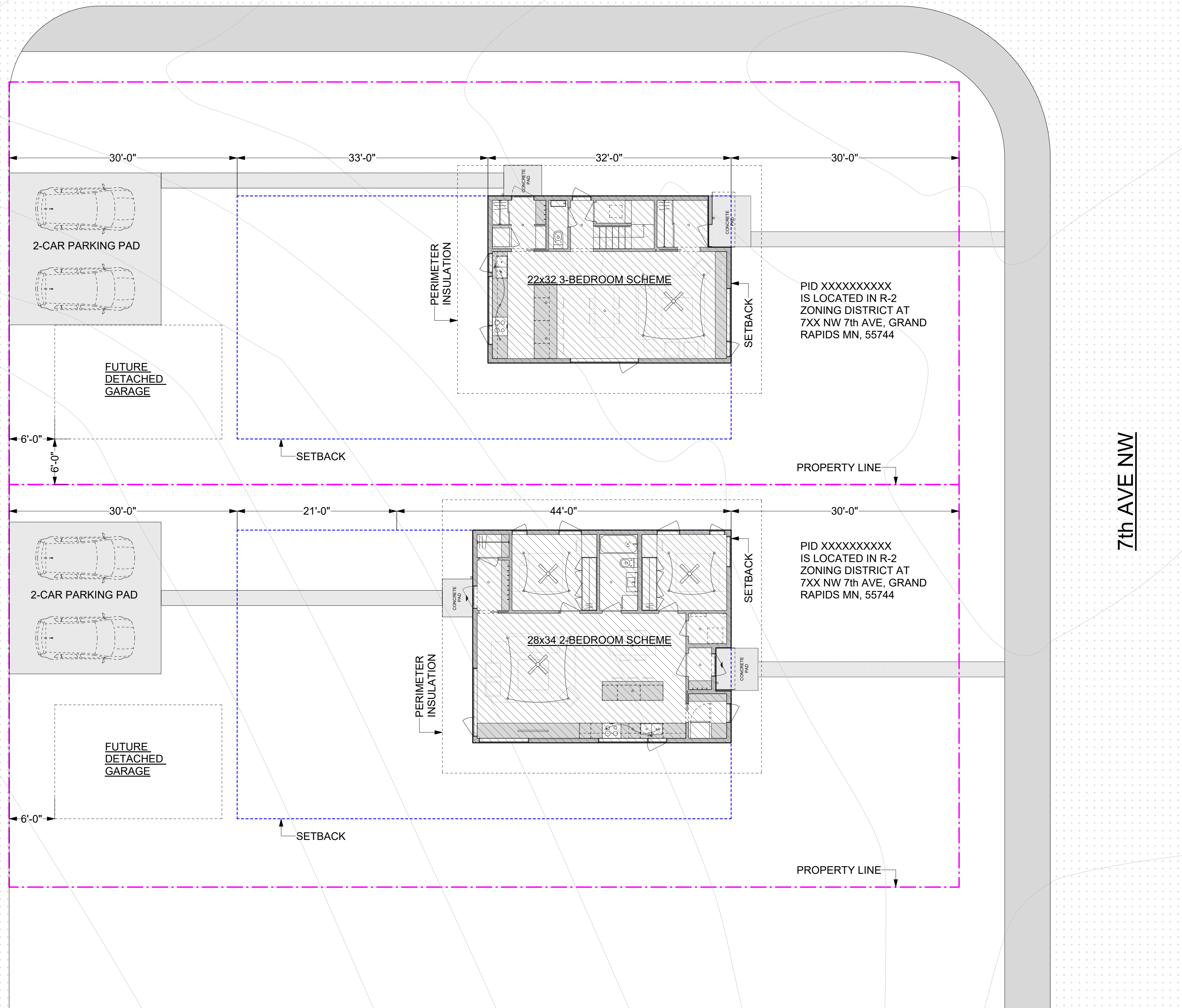
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Bid Add Alternate 2:

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8th ST NW

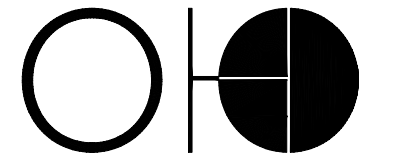
PROPOSED 7th AVE NW ALLEY



SITE PLAN LEGEND	
	PROPERTY LINE
	SETBACKS
	BELOW GRADE
	BUILDABLE AREA

# FOREST LAKE REDEVELOPMENT SITE

DESIGNER



Office Hughes Olsen  
2369 Doswell Avenue  
Saint Paul, MN 55108

PROJECT CO-DESIGNER/  
PROJECT MANAGER

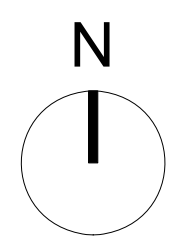
Benjamin Olsen  
218 398 0757  
benjamindavidolsen@gmail.com

PROJECT CO-DESIGNER

Ryan Hughes  
631 816 4093  
hughes.ryan.thomas@gmail.com

PROJECT ADDRESS  
VARIOUS

**PRICING SET  
NOT FOR CONSTRUCTION**



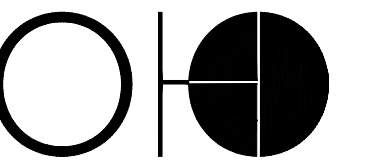
SITE PLAN  
SKETCH

## A 002

Scale: Noted  
Date: 04/03/23



DESIGNER



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PROJECT CO-DESIGNER/  
PROJECT MANAGER

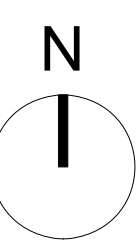
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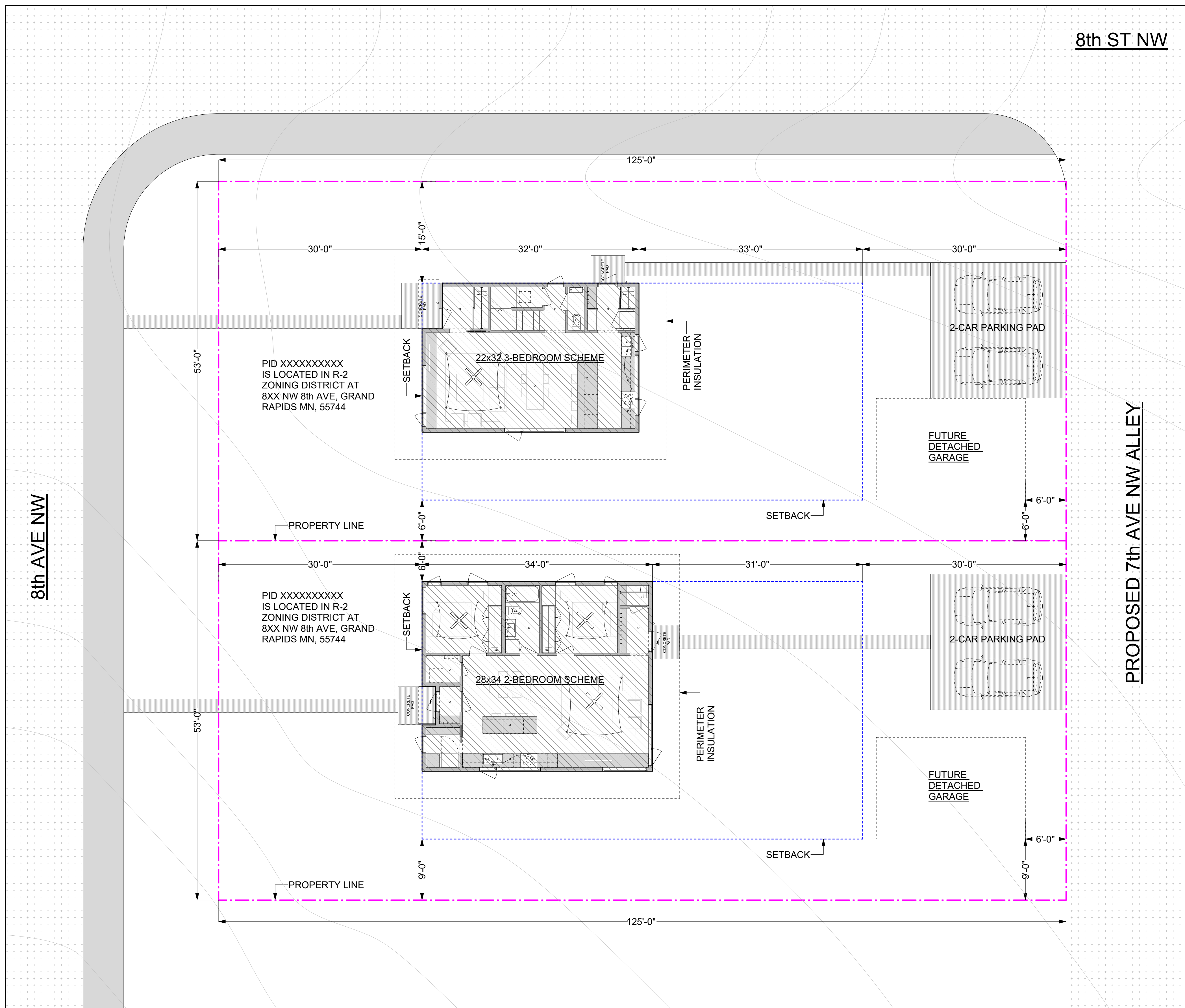


SITE PLAN  
SKETCH

**A 001**

Scale: Noted  
Date: 04/03/23

SITE PLAN LEGEND	
	PROPERTY LINE
	SETBACKS
	BELOW GRADE
	BUILDABLE AREA



01 SITE PLAN SKETCH: NW CORNER LOTS  
A001 1/8" : 1'-0"



SCHEMATIC EXTERIOR VIEW

# 22X32 3-BEDROOM SCHEME: PRICING SET

## CONTENTS:

CS	COVER SHEET
A001	SITE PLAN
S100	FOUNDATION PLAN
S101	LEVEL 2 BUILDING PLAN
S102	ROOF FRAMING PLAN
A100	LEVEL 1 BUILDING PLAN
A101	LEVEL 2 BUILDING PLAN
A102	ROOF PLAN
A200	BUILDING ELEVATIONS
A300	BUILDING SECTIONS
A400	DETAILED WALL SECTIONS

## 22X32 3-BEDROOM SCHEME

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**PRICING SET  
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COVER  
SHEET

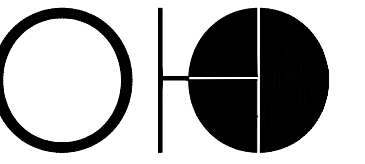
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Date: 04/12/23



22X32  
3-BEDROOM  
SCHEME

DESIGNER



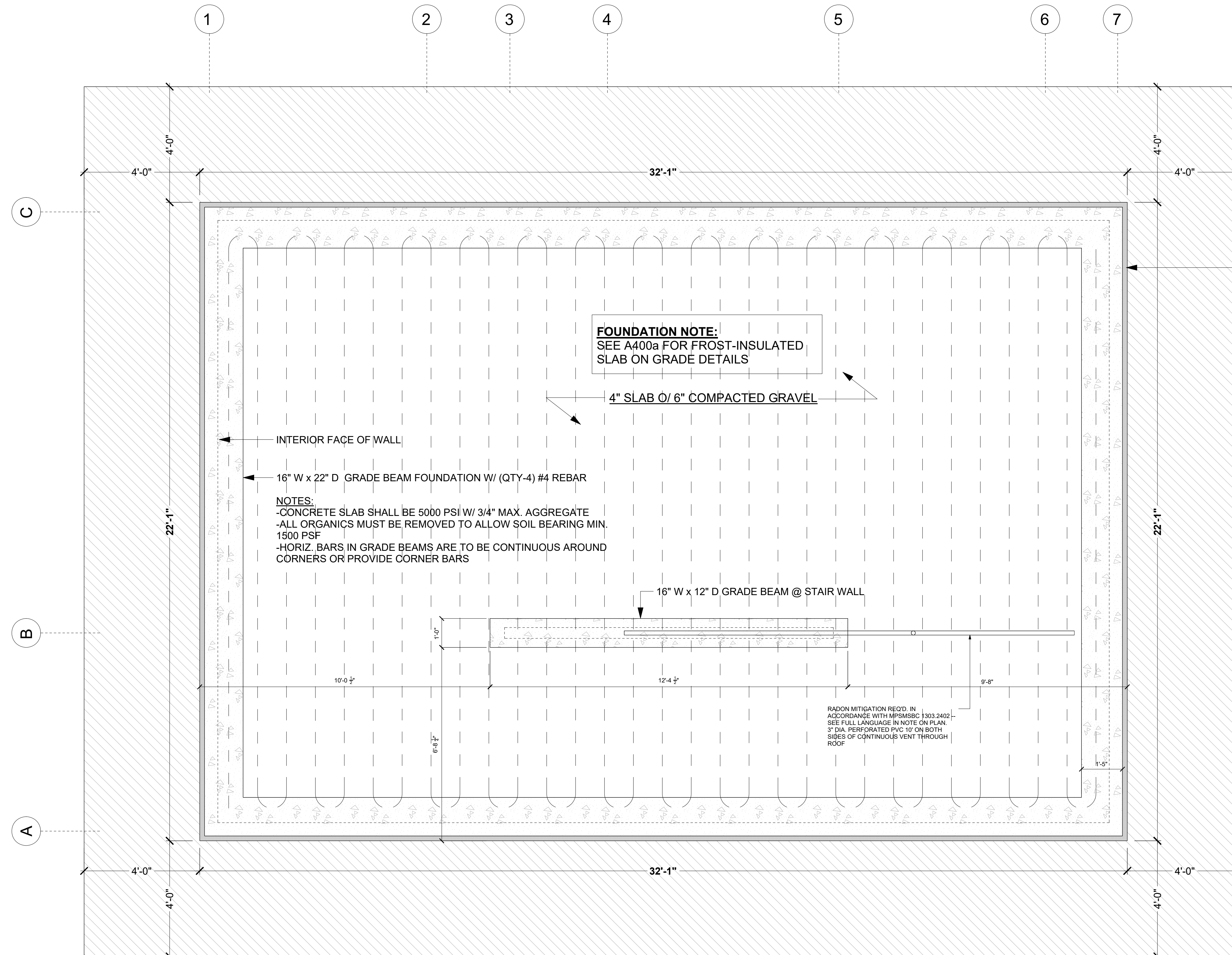
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**FOUNDATION NOTE:**  
SEE A400a FOR FROST-INSULATED  
SLAB ON GRADE DETAILS

**NOTES:**  
-CONCRETE SLAB SHALL BE 5000 PSI W/ 3/4" MAX. AGGREGATE  
-ALL ORGANICS MUST BE REMOVED TO ALLOW SOIL BEARING MIN. 1500 PSF  
-HORIZ. BARS IN GRADE BEAMS ARE TO BE CONTINUOUS AROUND CORNERS OR PROVIDE CORNER BARS

2" VERTICAL RIGID INSULATION AROUND PERIMETER. COVER W/ 26 GA. FLASHING  
1/2" P.T. PLYWOOD O/ 2" RIGID FOAM INSULATION  
-TAPE SEAMS  
-EXTEND 4'-0" FROM PERIMETER  
-DOUBLE THICKNESS OF FOAM AT CORNERS

**PASSIVE RADON DETECTION SYSTEM - 1303.2402**  
Subpart 1. Gas permeable material preparation. A gas-permeable material shall be placed on the prepared subgrade under all floor systems.  
Subp. 2. Soil-gas membrane installation. A soil-gas membrane shall be placed on top of the gas-permeable material prior to placing a floor on top of or above the soil. The soil-gas membrane shall cover the entire floor area. Separate sections of membrane must be lapped at least 12 inches (305 mm). The membrane shall fit closely around any penetration of the membrane to reduce the leakage of soil gases. All punctures or tears in the soil-gas membrane shall be repaired by sealing and patching the soil-gas membrane with the same kind of material, maintaining a minimum 12-inch (305 mm) lap.  
Subp. 3. "T" fitting. A "T" fitting shall be installed beneath the soil-gas membrane with a minimum of 10 feet of perforated pipe connected to any two openings of the "T" fitting, or by connecting the two openings to the interior drain tile system. The third opening of the "T" fitting shall be connected to the vent pipe. The perforated pipe or drain tile and the "T" fitting shall be the same size as the vent pipe. All connections to the "T" fitting shall be tight fitting.  
Subp. 4. Potential entry routes. Potential entry routes for radon gas shall be sealed according to this subpart, as applicable.  
A. Floor openings. Floor openings around bathtubs, showers, water closets, pipes, wires, or other objects that penetrate the soil-gas membrane and the concrete slab or other floor systems shall be sealed.  
B. Concrete joints. All control joints, isolation joints, construction joints, or any other joints in the concrete slab, or the joint between the concrete slab and a foundation wall, shall be sealed. All gaps and joints shall be cleared of all loose material prior to sealing.  
C. Foundation walls. Penetrations of all foundation wall types shall be sealed. Joints, cracks, or other openings around all penetrations of both exterior and interior surfaces of foundation walls shall be sealed.  
(1) Hollow block masonry foundation walls shall be constructed with either:  
(a) continuous course of solid masonry at or above the exterior ground surface;  
(b) course of masonry grouted solid at or above the exterior ground surface; or  
(c) solid concrete beam at or above the finished exterior ground surface.  
(2) When a brick veneer or other masonry ledge is installed, the masonry course immediately below the veneer or ledge shall be solid or filled.  
D. Unconditioned crawl spaces. All penetrations through floors or walls into unconditioned crawl spaces shall be sealed. Access doors into unconditioned crawl spaces shall be gasketed. Crawl space ventilation shall be provided according to part 1303.2400.  
E. Sumps. A sump connected to interior drain tile may serve as the termination point for the vent pipe, if the sump cover is sealed or gasketed and designed to accommodate the vent pipe. The sump pump water discharge pipe shall have a backflow preventer installed.  
Subp. 5. Vent pipes.  
A. Single vent pipe. The vent pipe shall be primed and glued at all fittings and shall extend up from the radon control system's collection point to a point terminating a minimum of 12 inches (305 mm) above the roof. The vent pipe shall be located at least 10 feet (3,048 mm) away from any window or other opening into the conditioned spaces of the building. Vent pipes routed through unconditioned spaces shall be insulated with a minimum of R-4 insulation. Vent pipes within the conditioned envelope of the building shall not be insulated. B. Multiple vent pipes. In buildings where interior footings or other barriers separate the gas-permeable material into two or more areas, each area shall be fitted with an individual radon control system in accordance with item A, or connected to a single radon gas vent pipe terminating above the roof in accordance with item A.  
C. Vent pipe drainage. All components of the radon gas vent pipe system shall be installed to provide drainage to the ground beneath the soil-gas membrane.  
D. Vent pipe accessibility. Radon gas vent pipes shall be provided with space around the vent pipe for future installation of a fan. The space required for the future fan installation shall be a minimum of 24 inches in diameter, centered on the axis of the vent pipe, and shall extend a minimum distance of 3 vertical feet.  
Exception: Accessibility to the radon gas vent pipe is not required if the future fan installation is above the roof system and there is an approved rooftop electrical supply provided.  
E. Vent pipe identification. All radon gas vent pipes shall be identified with at least 1 label on each story and in attics and crawl spaces. The label shall read: "Radon Gas Vent System."  
F. Combination foundations. Combination basement/crawl space or slab-on-grade/crawl space foundations shall have separate radon gas vent pipes installed in each type of foundation area. Each radon gas vent pipe shall terminate above the roof or shall be connected to a single vent pipe that terminates above the roof.  
Subp. 6. Power source. A power source consisting of an electrical circuit terminating in an approved electrical box shall be installed during construction in the anticipated location of the vent pipe fan to allow for the future installation of a fan into a passive radon control system to make the system an active radon control system. The power source shall not be installed in any conditioned space, basement, or crawl space.

PROJECT ADDRESS  
VARIOUS

PRICING SET  
NOT FOR CONSTRUCTION

01  
S100  
FROST-INSULATED SLAB-ON-GRADE  
FOUNDATION PLAN OPTION  
1/2" = 1'-0"

FOUNDATION  
PLAN

S 100

Scale: Noted  
Date: 04/12/23

22X32  
3-BEDROOM  
SCHEME

DESIGNER



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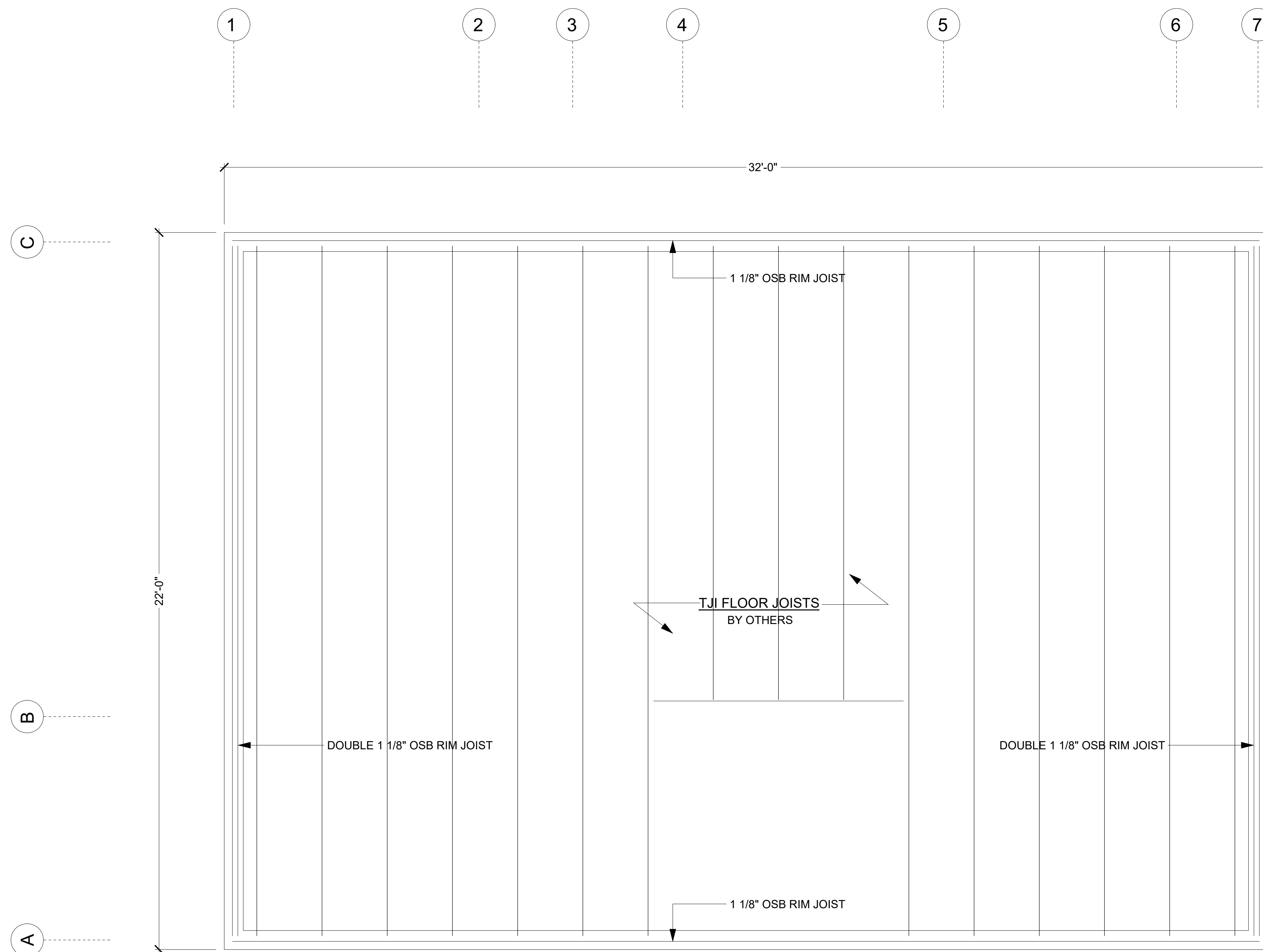
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**PRICING SET  
NOT FOR CONSTRUCTION**

FRAMING  
PLANS

**S 101**

Scale: Noted  
Date: 04/12/23



22X32  
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SCHEME

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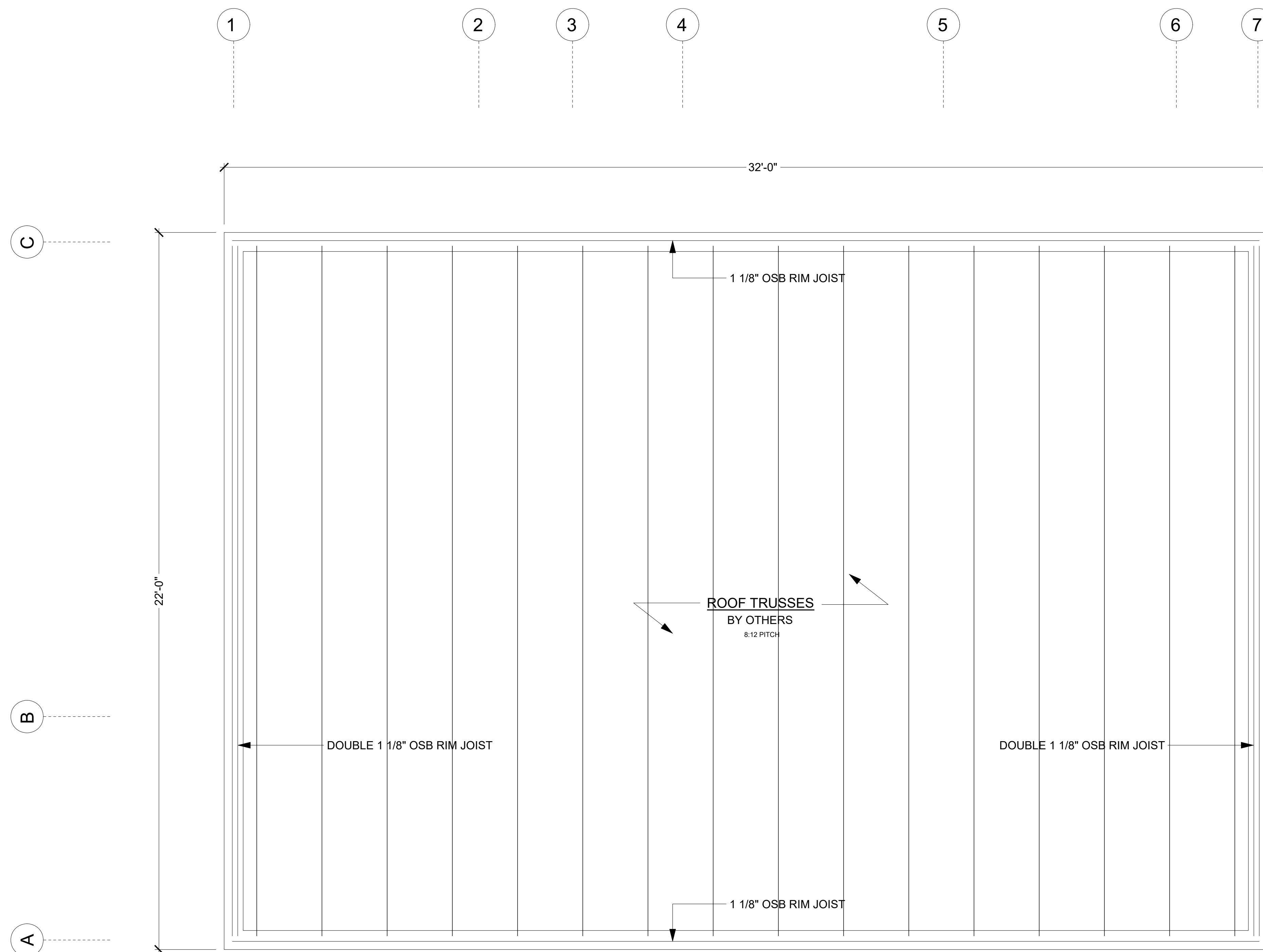
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FRAMING  
PLANS

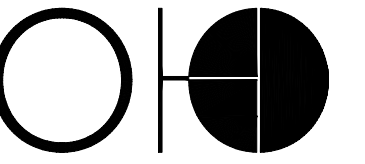
**S 102**

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22X32  
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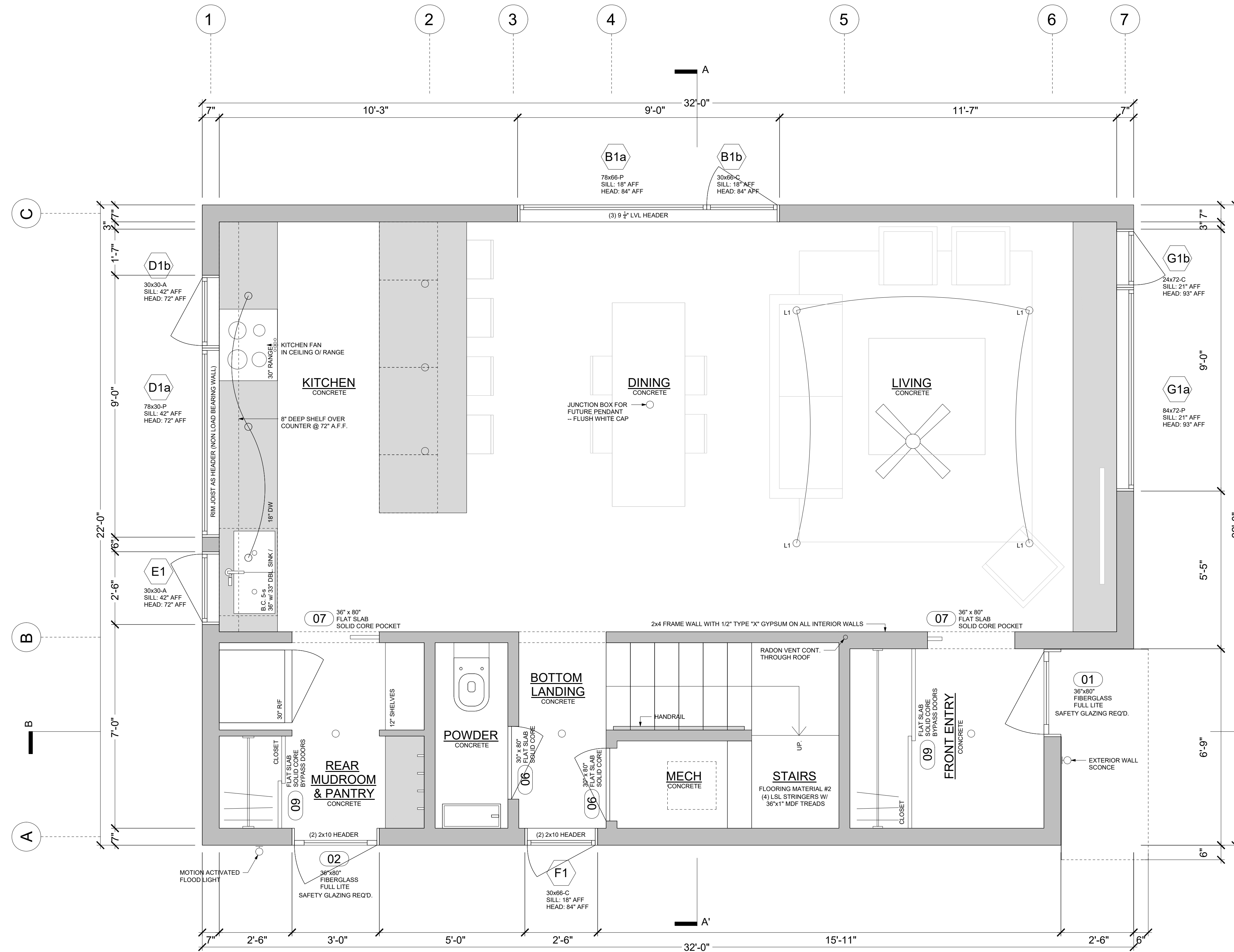
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**ELECTRICAL NOTE:**  
ELECTRICIAN TO PROVIDE CONTINUOUS VERTICAL CHASE THROUGH FRAME WALL TO ROOF FOR FUTURE SOLAR CABLE

**MECH ROOM NOTE:**  
FINISH MECH ROOM WALLS AND UNDERSIDE OF STAIRS WITH 1/2" GYP.

**MECH LAYOUT NOTE:**  
ELECTRICAL, PLUMBING, AND MECHANICAL SUB-CONTRACTORS TO PROVIDE LAYOUTS PER CODE

**STAIR NOTE:**  
MAX. RISE: 7 3/4"  
MIN. RUN: 10"

**FRAMING NOTE:**  
PROVIDE WALL BRACING IN ACCORDANCE WITH 2020 MSRC SECTION R602.10 AND/OR R602.12.6

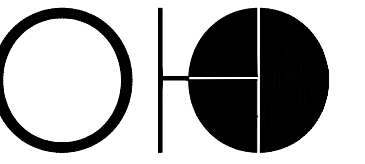
**INSULATION NOTES:**  
-Vertical Insulation at Foundation: MIN. R-10.1  
-Horizontal Insulation along Foundation walls: MIN. R-10.5  
-Horizontal Insulation at Foundation corners: MIN. R-13.1  
-Underlaid Insulation: MIN. R-10  
-Insulation at Exterior Walls: MIN. R-21

PRICING SET  
NOT FOR CONSTRUCTION



22X32  
3-BEDROOM  
SCHEME

DESIGNER



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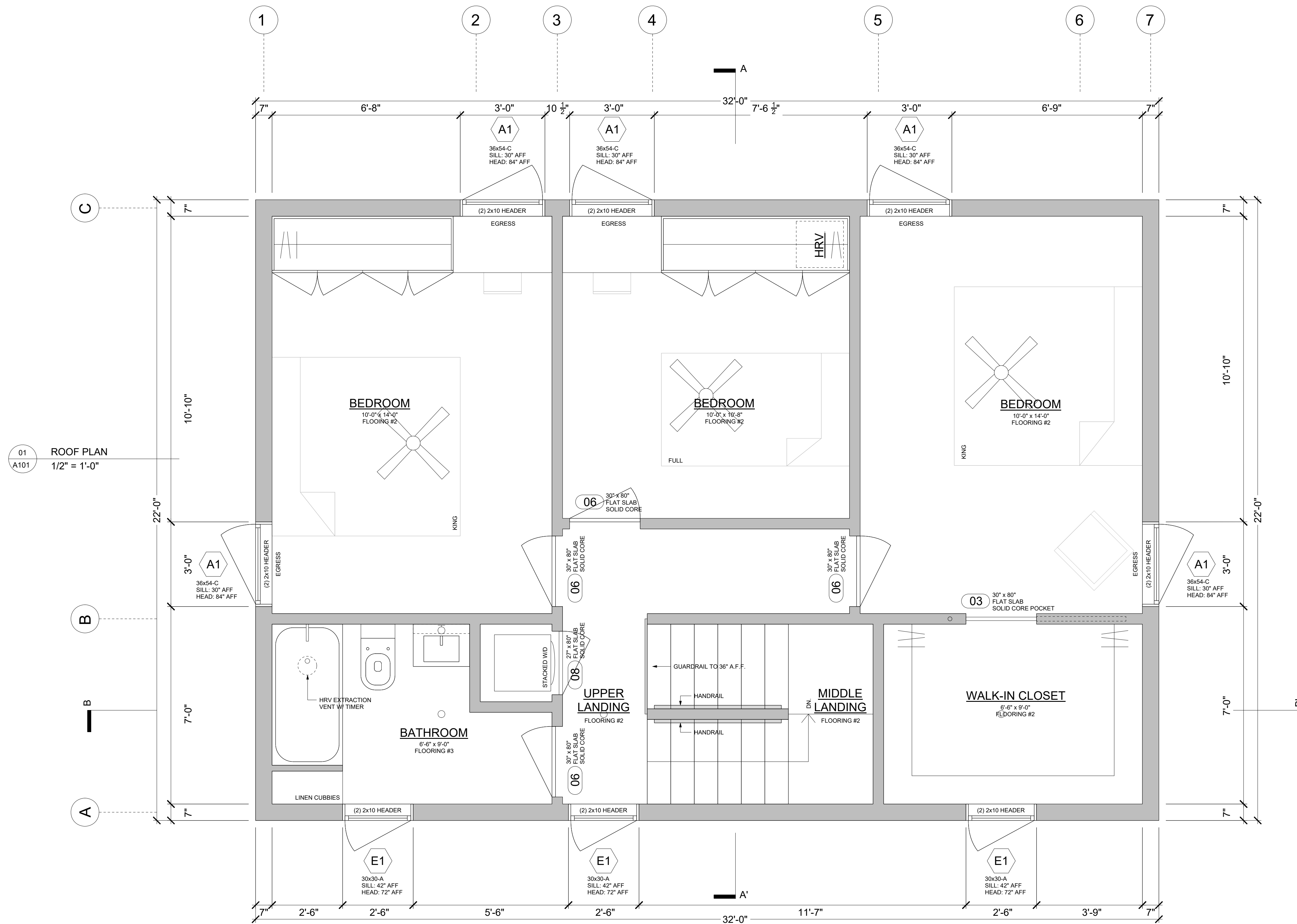
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PRICING SET  
NOT FOR CONSTRUCTION

BUILDING  
PLANS

A 101

Scale: Noted  
Date: 04/12/23



22X32  
3-BEDROOM  
SCHEME

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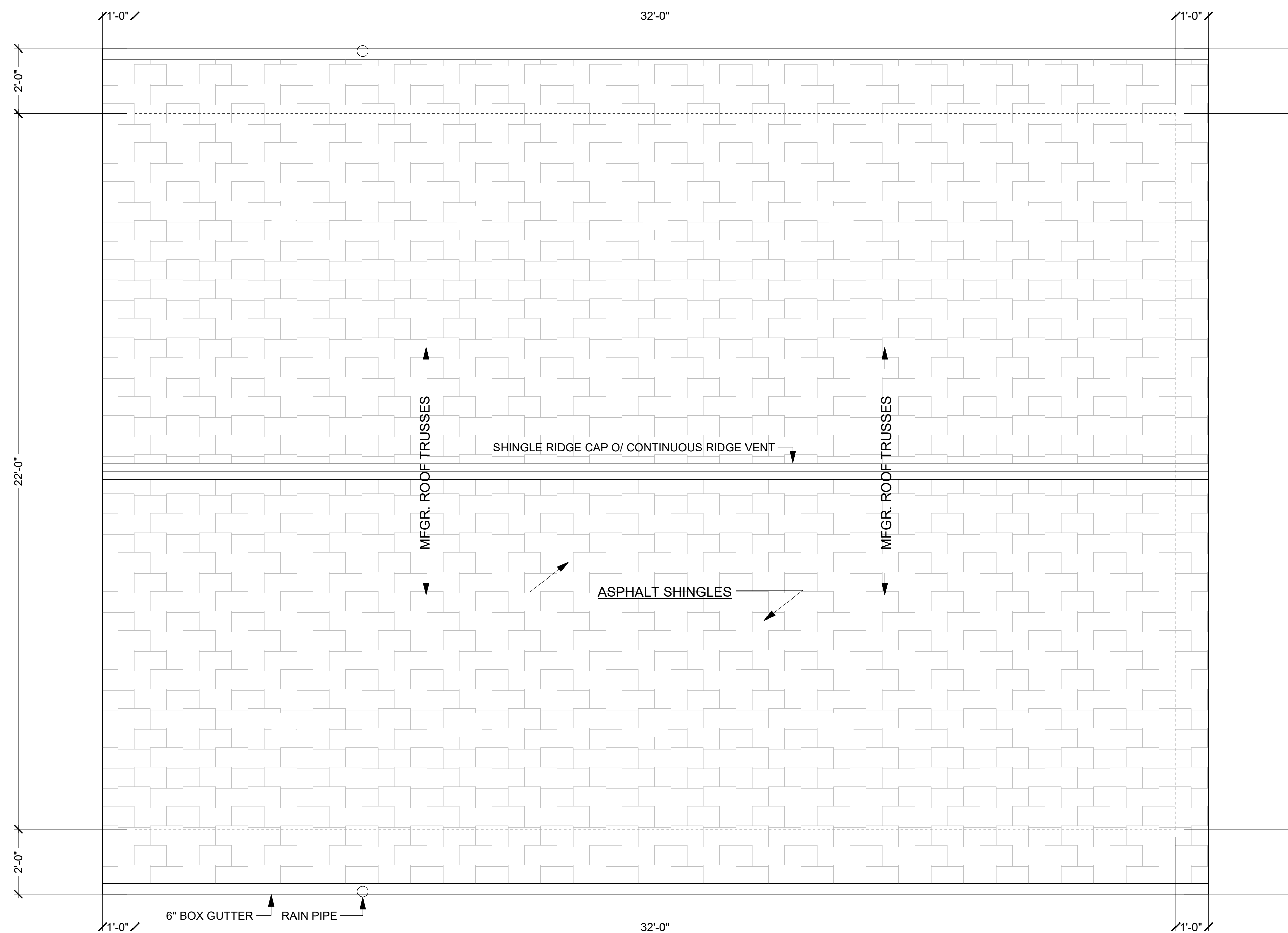
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**PRICING SET  
NOT FOR CONSTRUCTION**

ROOF  
PLAN

**A 102**

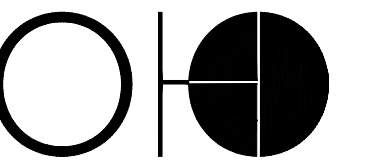
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22X32  
3-BEDROOM  
SCHEME

DESIGNER



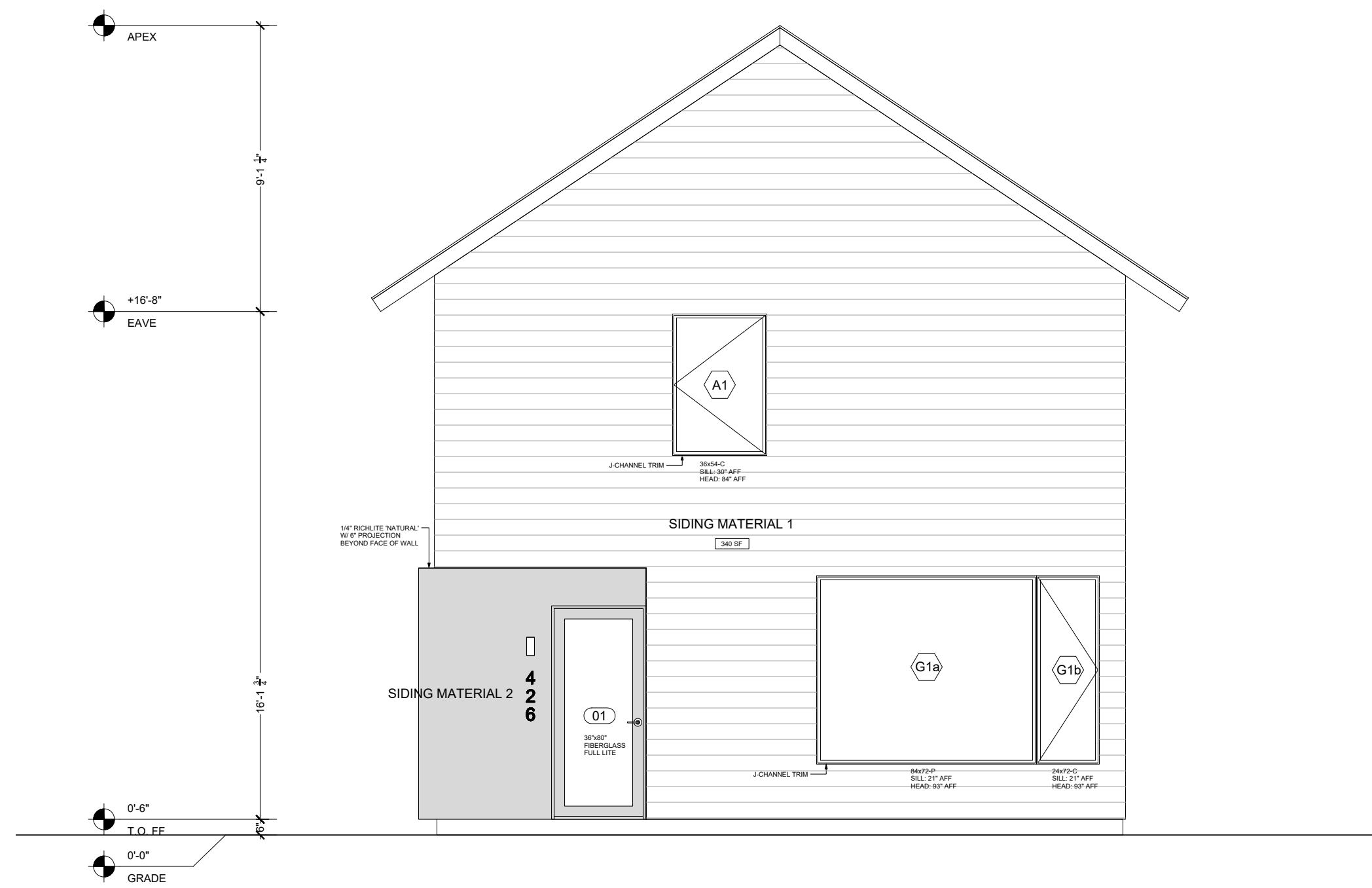
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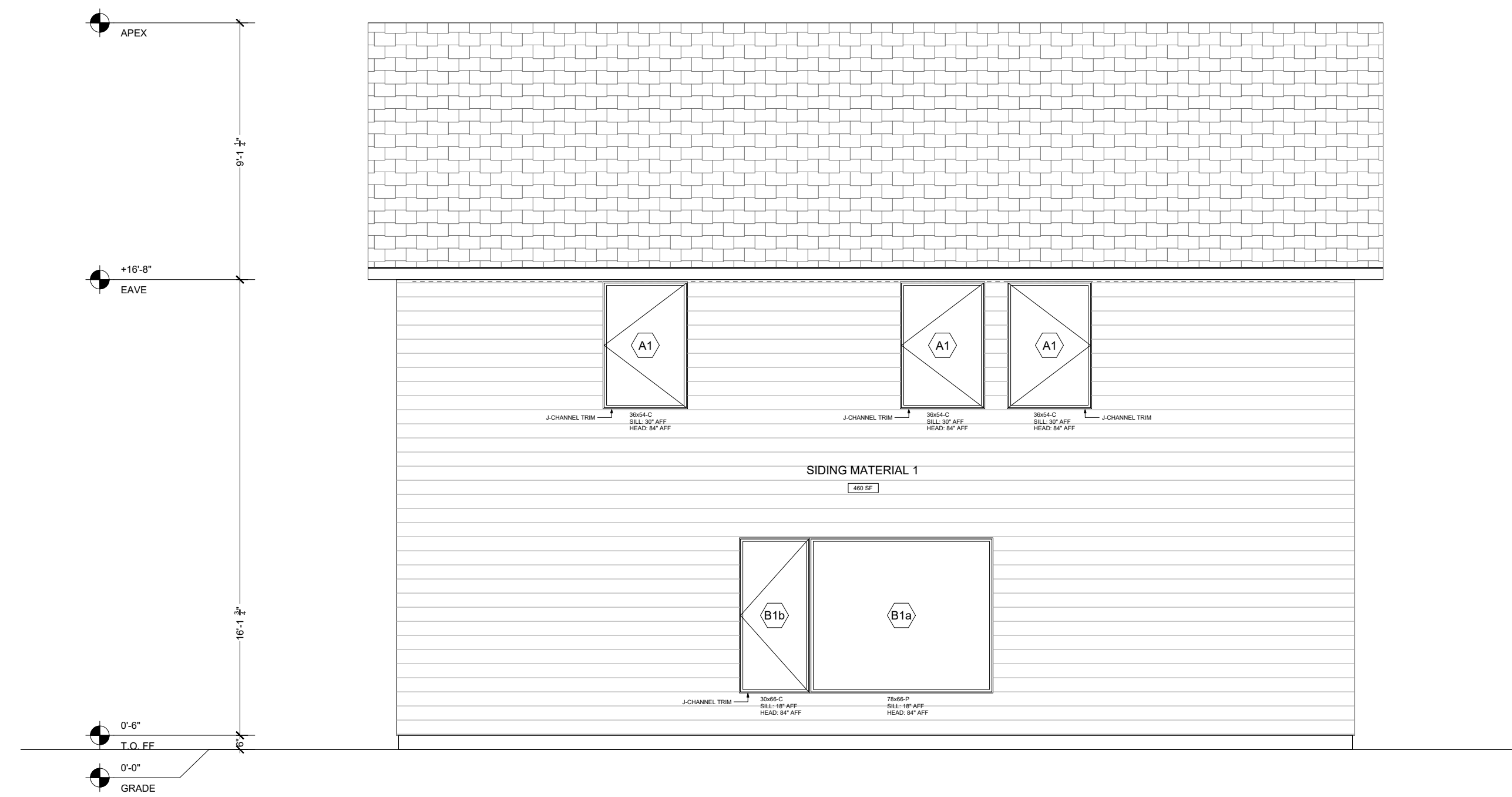
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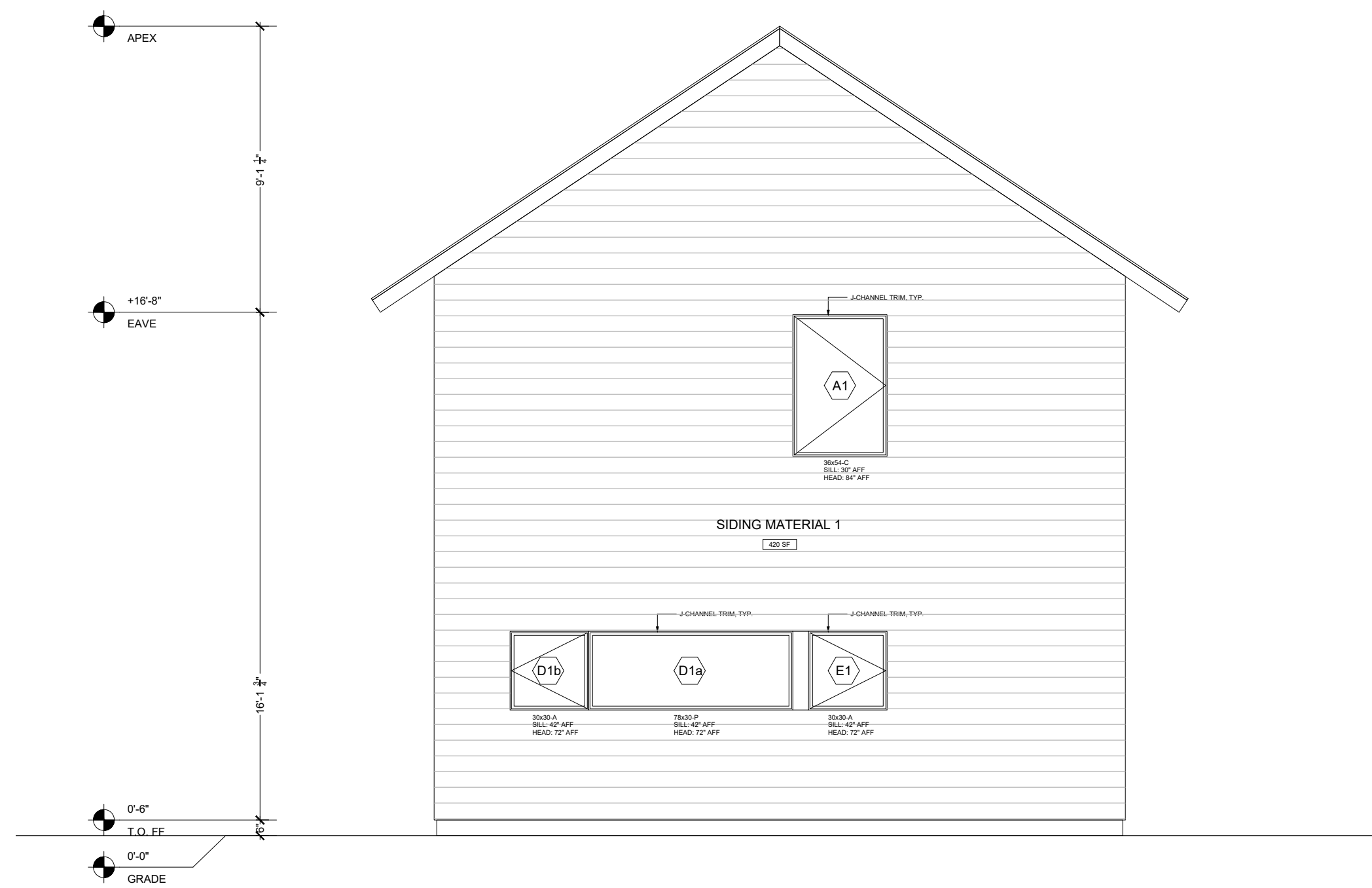
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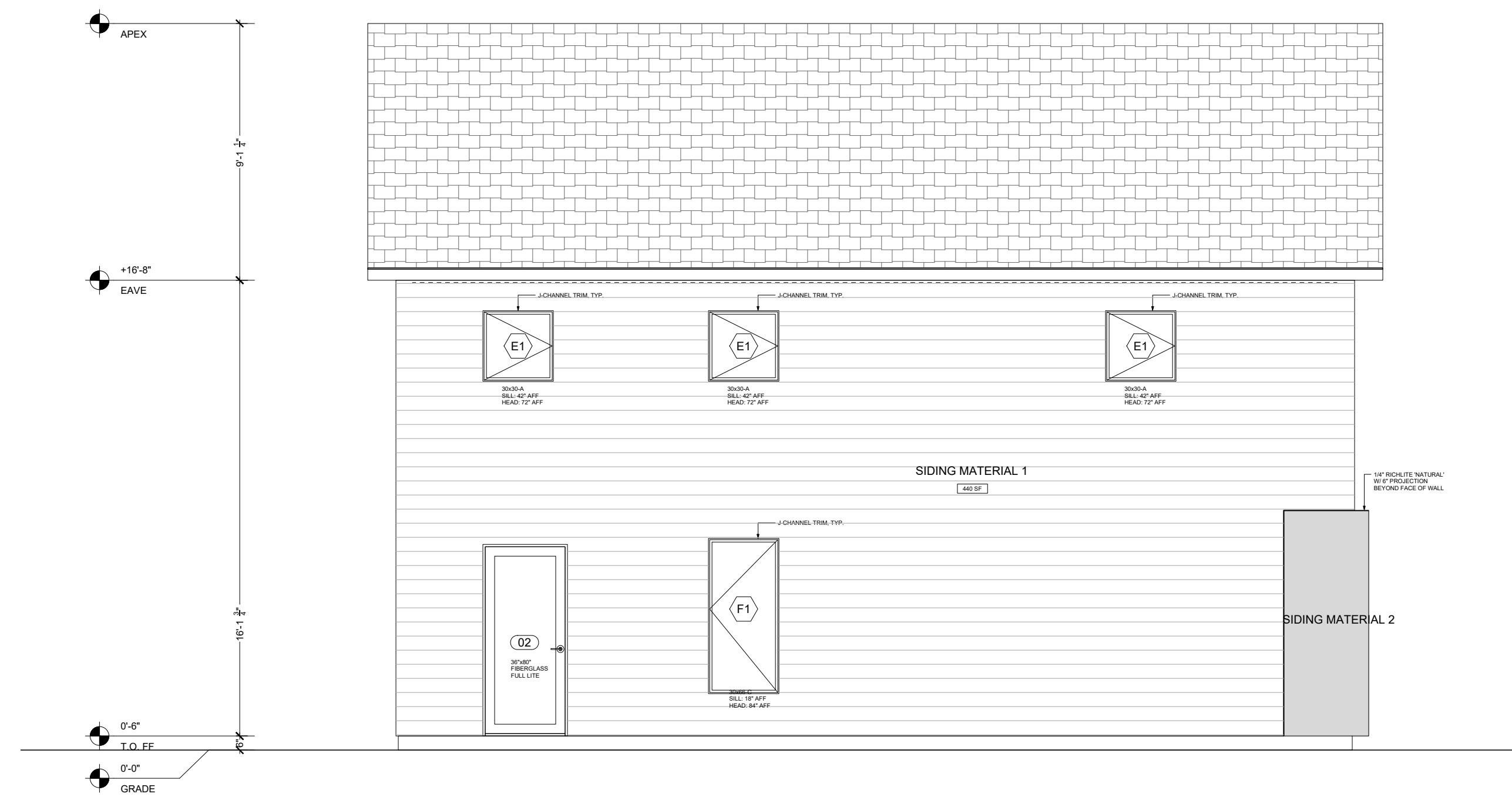
04 BUILDING ELEVATION: REAR  
A200 1/4" = 1'-0"



03 BUILDING ELEVATION: SOUTH  
A200 1/4" = 1'-0"



02 BUILDING ELEVATION: FRONT  
A200 1/4" = 1'-0"



01 BUILDING ELEVATION: NORTH  
A200 1/4" = 1'-0"

PROJECT ADDRESS  
VARIOUS

PRICING SET  
NOT FOR CONSTRUCTION

BUILDING  
ELEVATIONS

A 200

Scale: Noted  
Date: 04/12/23

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3-BEDROOM  
SCHEME

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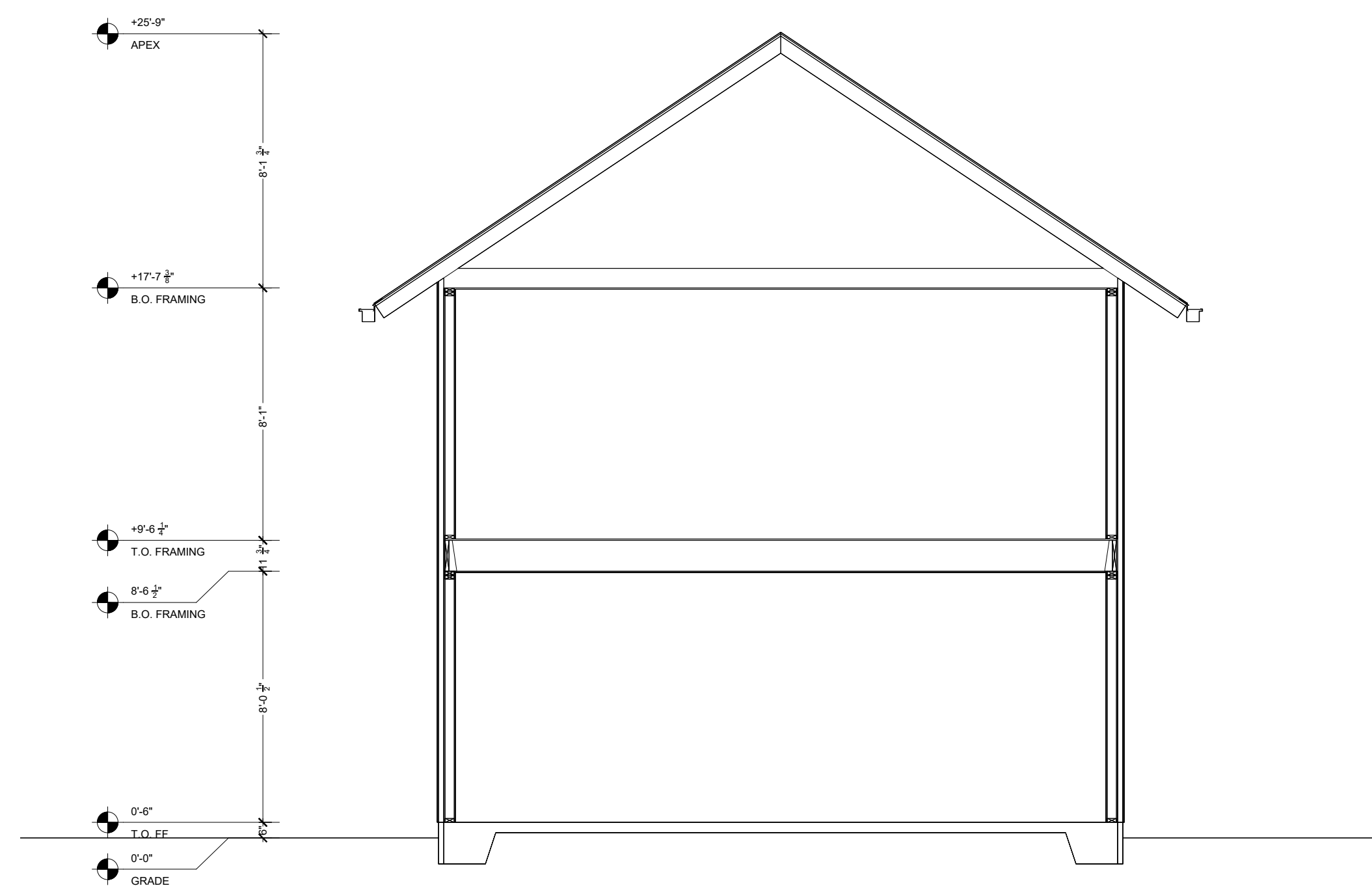
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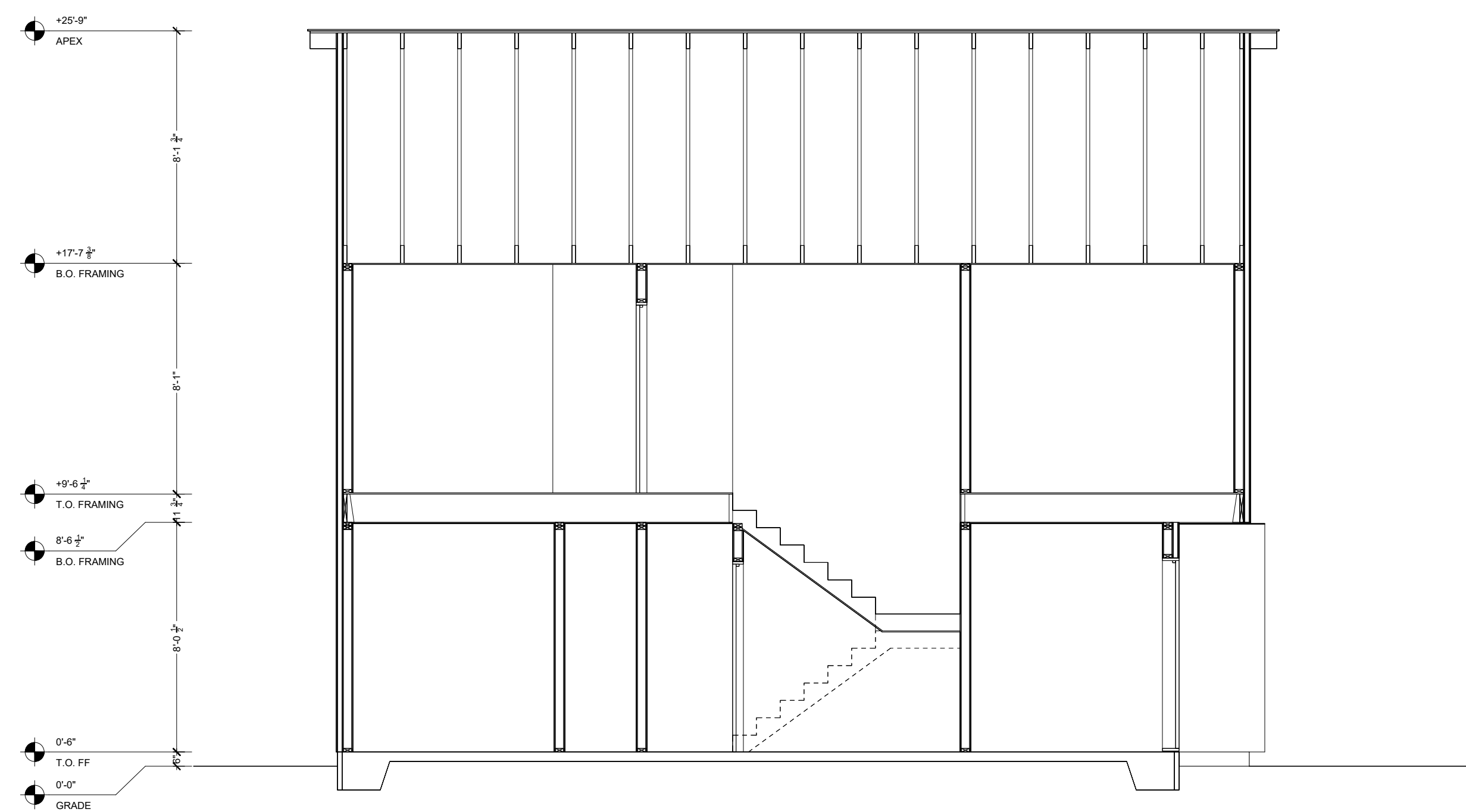
BUILDING  
SECTIONS

**A 300**

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Date: 04/12/23



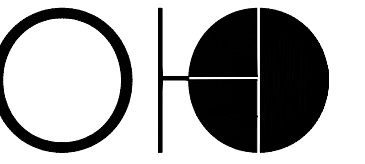
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A200 1/4" = 1'-0"



03 BUILDING SECTION B  
A200 1/4" = 1'-0"

22X32  
3-BEDROOM  
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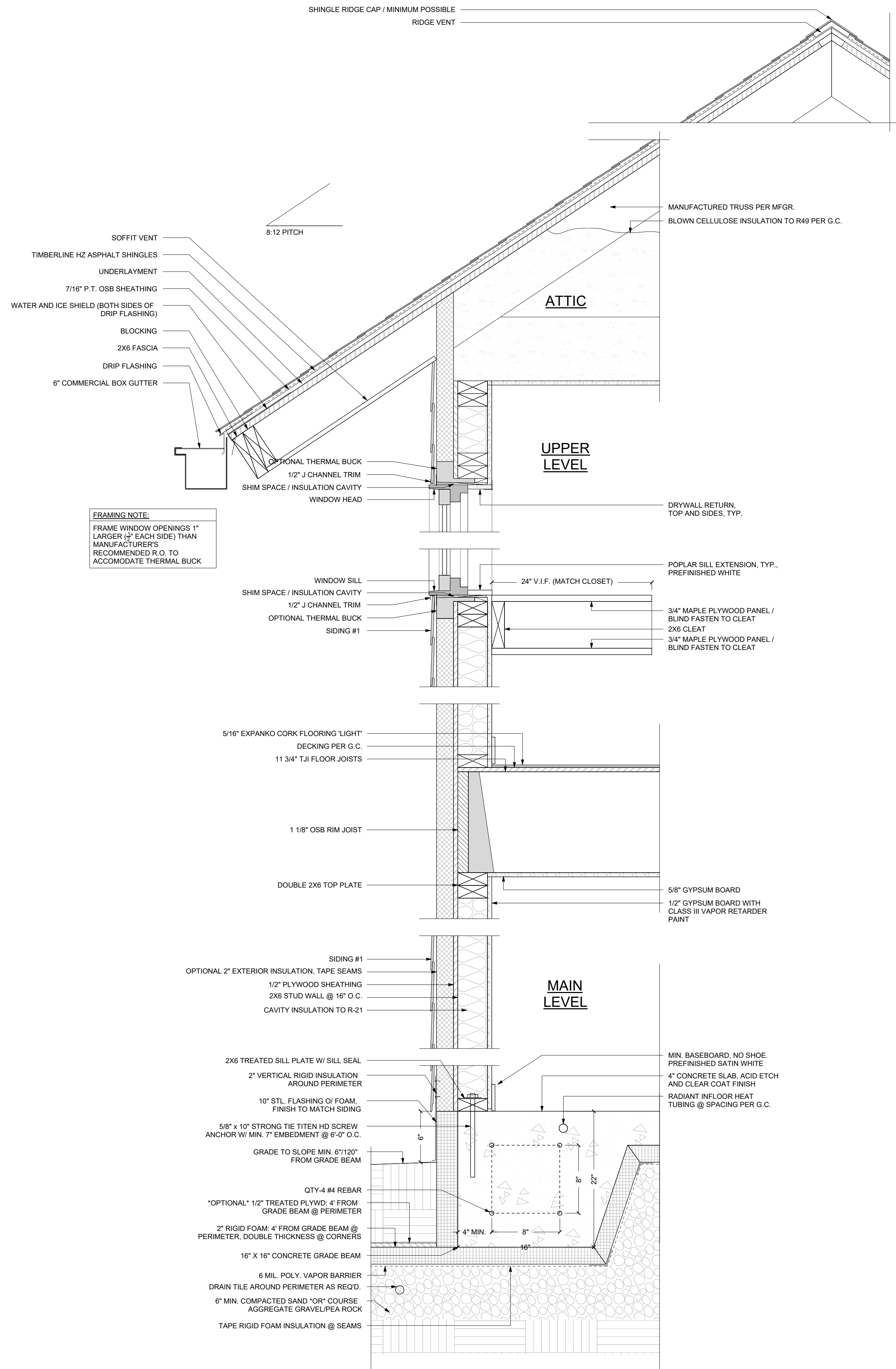
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PRICING SET  
NOT FOR CONSTRUCTION

DETAIL  
WALL SECTION

A 400

Scale: Noted  
Date: 04/12/23



01 DETAILED WALL SECTION @ SIDE WALL  
A400 1 1/2" = 1'-0"





SCHEMATIC EXTERIOR VIEW

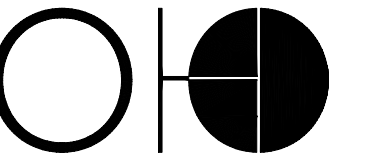
# 28X34 2-BEDROOM SCHEME: PRICING SET

## CONTENTS:

CS	COVER SHEET
A001	SITE PLAN
S100	FOUNDATION PLAN
S101	ROOF FRAMING PLAN
A100	LEVEL 1 BUILDING PLAN
A101	ROOF PLAN
A200	BUILDING ELEVATIONS
A300	BUILDING SECTIONS
A400	DETAILED WALL SECTIONS

## 28X34 2-BEDROOM SCHEME

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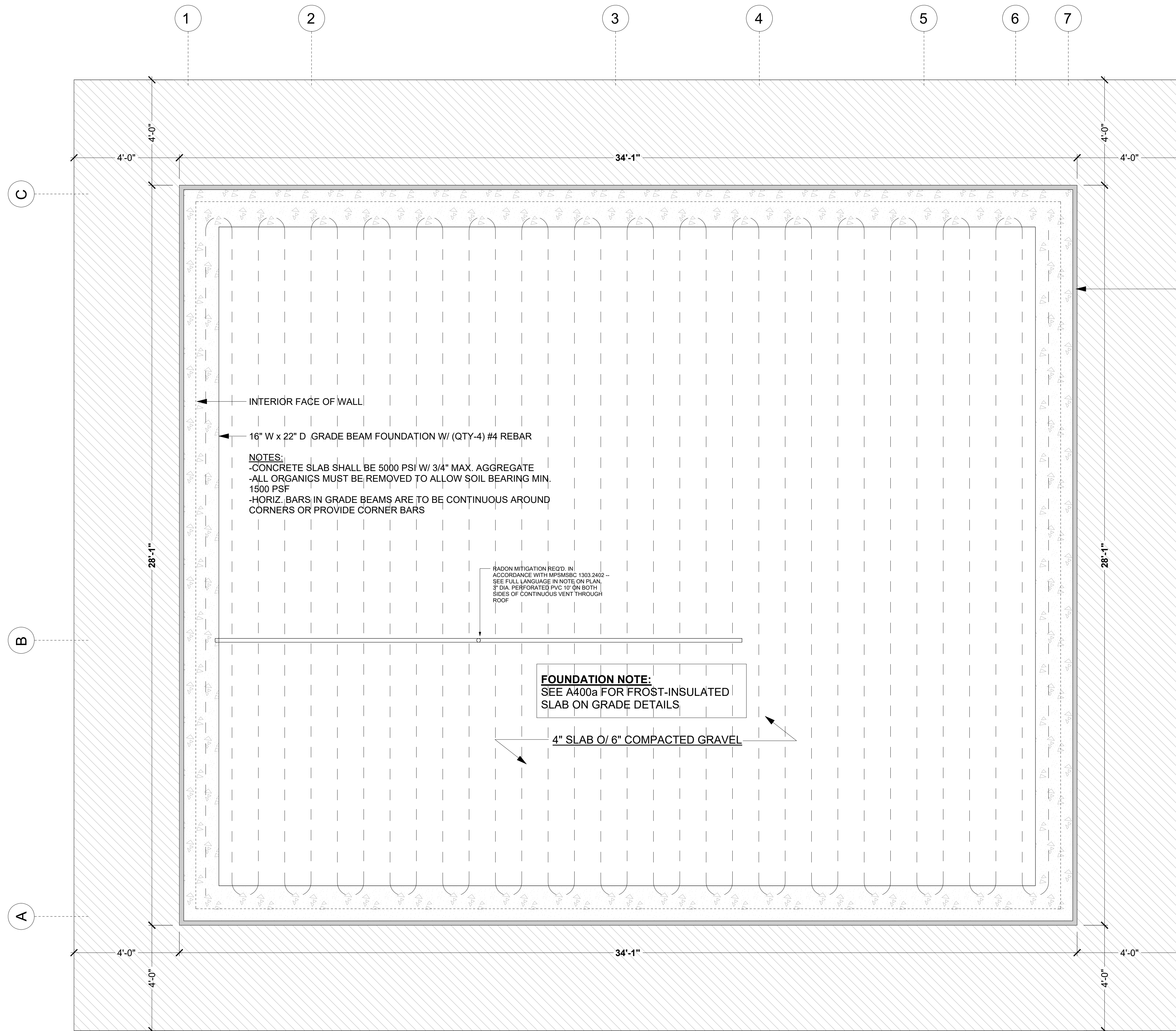
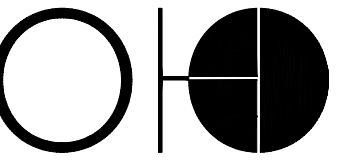
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NOT FOR CONSTRUCTION**

COVER  
SHEET

CS

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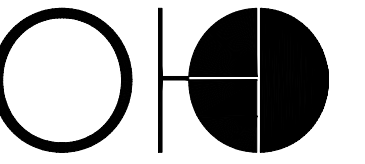


**PASSIVE RADON DETECTION SYSTEM - 1303.2402**

- Subpart 1. Gas permeable material preparation.  
A. Gas permeable material shall be placed on the prepared subgrade under all floor systems.
- Subp. 2. Soil-gas membrane installation.  
A. Soil-gas membrane shall be placed on top of the gas-permeable material prior to placing a floor on top of or above the soil. The soil-gas membrane shall cover the entire floor area. Separate sections of membrane must be lapped at least 12 inches (305 mm). The membrane shall fit closely around any penetration of the membrane to reduce the leakage of soil gases. All punctures or tears in the soil-gas membrane shall be repaired by sealing and patching the soil-gas membrane with the same kind of material, maintaining a minimum 12-inch (305 mm) lap.
- Subp. 3. "T" fitting.  
A. "T" fitting shall be installed beneath the soil-gas membrane with a minimum of 10 feet of perforated pipe connected to any two openings of the "T" fitting, or by connecting the two openings to the interior drain tile system. The third opening of the "T" fitting shall be connected to the vent pipe. The perforated pipe or drain tile and the "T" fitting shall be the same size as the vent pipe. All connections to the "T" fitting shall be tight fitting.
- Subp. 4. Potential entry routes.  
Potential entry routes for radon gas shall be sealed according to this subpart, as applicable.
- A. Floor openings. Floor openings around bathtubs, showers, water closets, pipes, wires, or other objects that penetrate the soil-gas membrane and the concrete slab or other floor systems shall be sealed.
- B. Concrete joints. All control joints, isolation joints, construction joints, or any other joints in the concrete slab, or the joint between the concrete slab and a foundation wall, shall be sealed. All gaps and joints shall be cleared of all loose material prior to sealing.
- C. Foundation walls. Penetrations of all foundation wall types shall be sealed. Joints, cracks, or other openings around all penetrations of both exterior and interior surfaces of foundation walls shall be sealed.
- (1) Hollow block masonry foundation walls shall be constructed with either:  
(a) a continuous course of solid masonry at or above the exterior ground surface;  
(b) one course of masonry grouted solid at or above the exterior ground surface; or  
(c) a solid concrete beam at or above the finished exterior ground surface.
- (2) When a brick veneer or other masonry ledge is installed, the masonry course immediately below the veneer or ledge shall be solid or filled.
- D. Unconditioned crawl spaces. All penetrations through floors or walls into unconditioned crawl spaces shall be sealed. Access doors into unconditioned crawl spaces shall be gasketed. Crawl space ventilation shall be provided according to part 1303.2405.
- E. Sumps. A sump connected to interior drain tile may serve as the termination point for the vent pipe, if the sump cover is sealed or gasketed and designed to accommodate the vent pipe. The sump pump water discharge pipe shall have a backflow preventer installed.
- Subp. 5. Vent pipes.  
A. Single vent pipe. The vent pipe shall be primed and glued at all fittings and shall extend up from the radon control system's collection point to a point terminating a minimum of 12 inches (305 mm) above the roof. The vent pipe shall be located at least 10 feet (3.048 mm) away from any window or other opening into the conditioned spaces of the building. Vent pipes routed through unconditioned spaces shall be insulated with a minimum of R-4 insulation. Vent pipes within the conditioned envelope of the building shall not be insulated. B. Multiple vent pipes. In buildings where interior footings or other barriers separate the gas-permeable material into two or more areas, each area shall be fitted with an individual radon control system in accordance with item A, or connected to a single radon gas vent pipe terminating above the roof in accordance with item A.
- C. Vent pipe drainage. All components of the radon gas vent pipe system shall be installed to provide drainage to the ground beneath the soil-gas membrane.
- D. Vent pipe accessibility. Radon gas vent pipes shall be provided with space around the vent pipe for future installation of a fan. The space required for the future fan installation shall be a minimum of 24 inches in diameter, centered on the axis of the vent pipe, and shall extend a minimum distance of 3 vertical feet.  
Exception: Accessibility to the radon gas vent pipe is not required if the future fan installation is above the roof system and there is an approved rooftop electrical supply provided.
- E. Vent pipe identification. All radon gas vent pipes shall be identified with at least 1 label on each story and in attics and crawl spaces. The label shall read: "Radon Gas Vent System."
- F. Combination foundations. Combination basement/crawl space or slab-on grade/crawl space foundations shall have separate radon gas vent pipes installed in each type of foundation area. Each radon gas vent pipe shall terminate above the roof or shall be connected to a single vent pipe that terminates above the roof.
- Subp. 6. Power source.  
A power source consisting of an electrical circuit terminating in an approved electrical box shall be installed during construction in the anticipated location of the vent pipe fan to allow for the future installation of a fan into a passive radon control system to make the system an active radon control system. The power source shall not be installed in any conditioned space, basement, or crawl space.

28X34  
2-BEDROOM  
SCHEME

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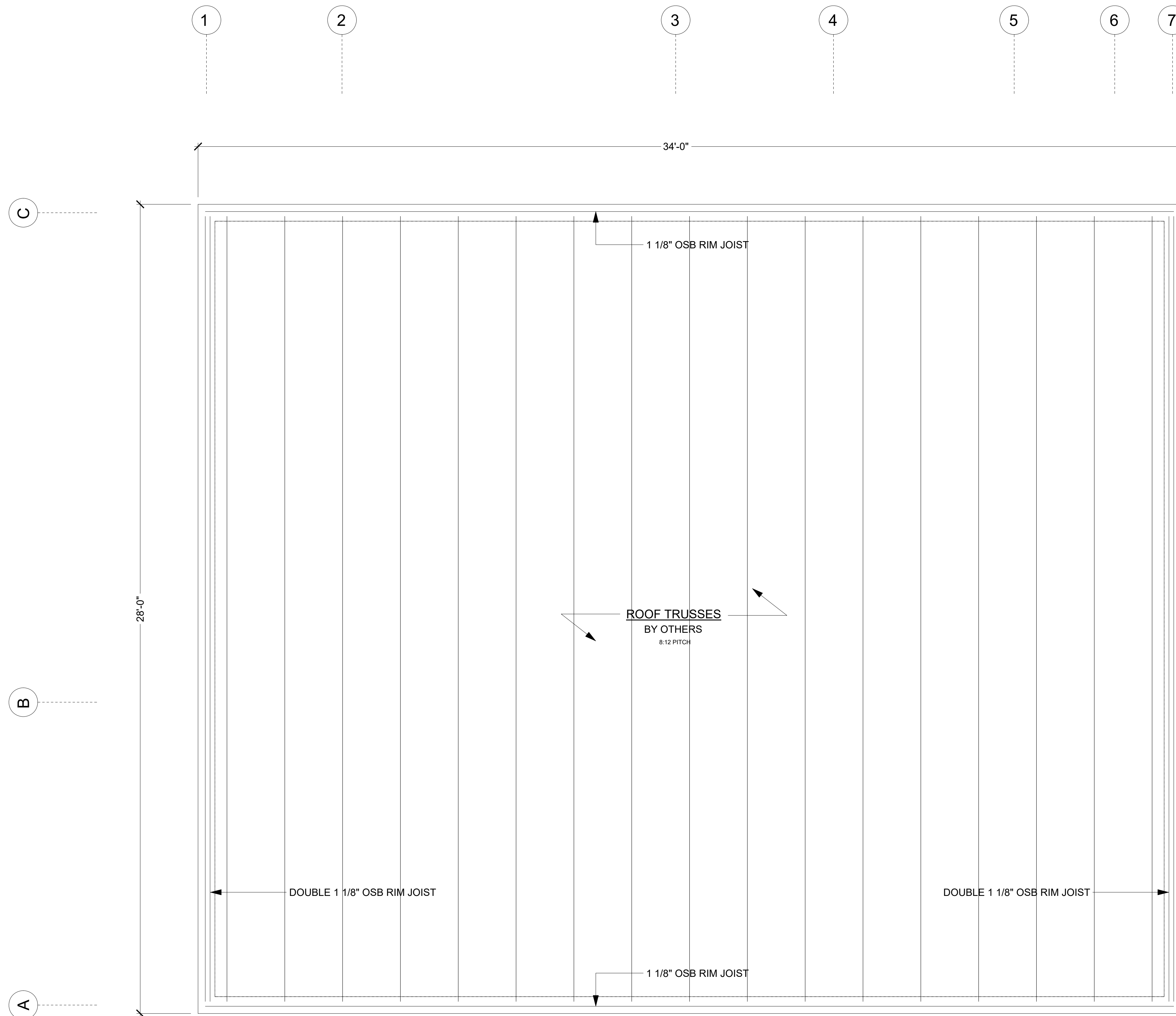
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VARIOUS

**PRICING SET  
NOT FOR CONSTRUCTION**

FRAMING  
PLANS

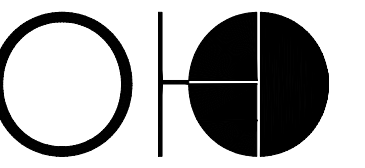
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Date: 04/12/23



28X34  
2-BEDROOM  
SCHEME

DESIGNER



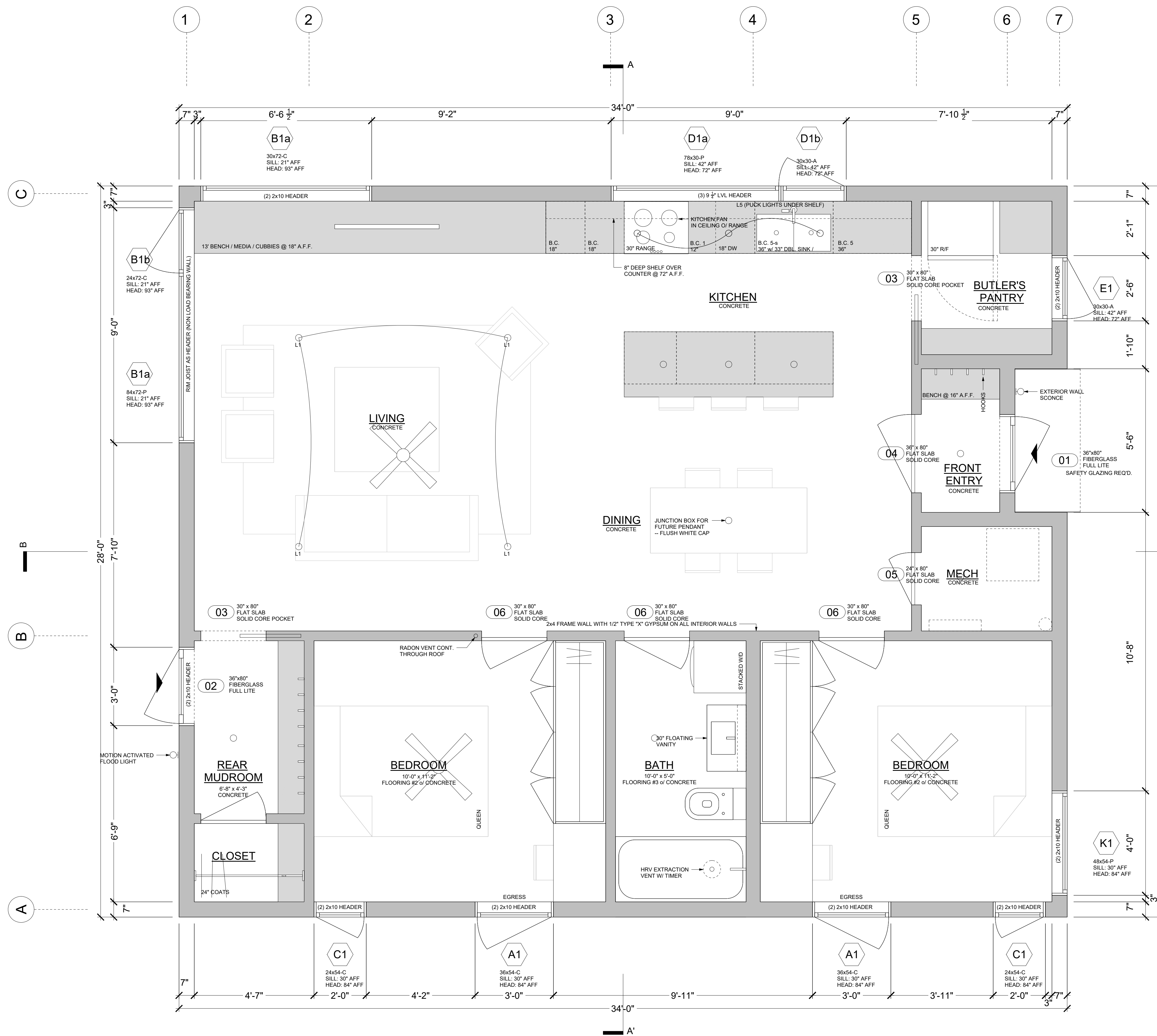
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**ELECTRICAL NOTE:**  
ELECTRICIAN TO PROVIDE CONTINUOUS VERTICAL CHASE THROUGH FRAME WALL TO ROOF FOR FUTURE SOLAR CABLE

**MECH ROOM NOTE:**  
FINISH MECH ROOM WALLS AND UNDERSIDE OF STAIRS WITH 1/2" GYP.

**MECH LAYOUT NOTE:**  
ELECTRICAL, PLUMBING, AND MECHANICAL SUB-CONTRACTORS TO PROVIDE LAYOUTS PER CODE

**STAIR NOTE:**  
MAX. RISE: 7 3/4"  
MIN. RUN: 10"

**FRAMING NOTE:**  
PROVIDE WALL BRACING IN ACCORDANCE WITH 2020 MSJC SECTION R602.10 AND/OR R602.12.6

**INSULATION NOTES:**  
-Vertical Insulation at Foundation: MIN. R-10.1  
-Horizontal Insulation along Foundation walls: MIN. R-10.5  
-Horizontal Insulation at Foundation corners: MIN. R-13.1  
-Underlayment Insulation: MIN. R-10  
-Insulation at Exterior Walls: MIN. R-21

PROJECT ADDRESS  
VARIOUS

PRICING SET  
NOT FOR CONSTRUCTION

01 LEVEL 1 PLAN  
A100 1/2" = 1'-0"

BUILDING  
PLANS

A 100

Scale: Noted  
Date: 04/12/23



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2-BEDROOM  
SCHEME

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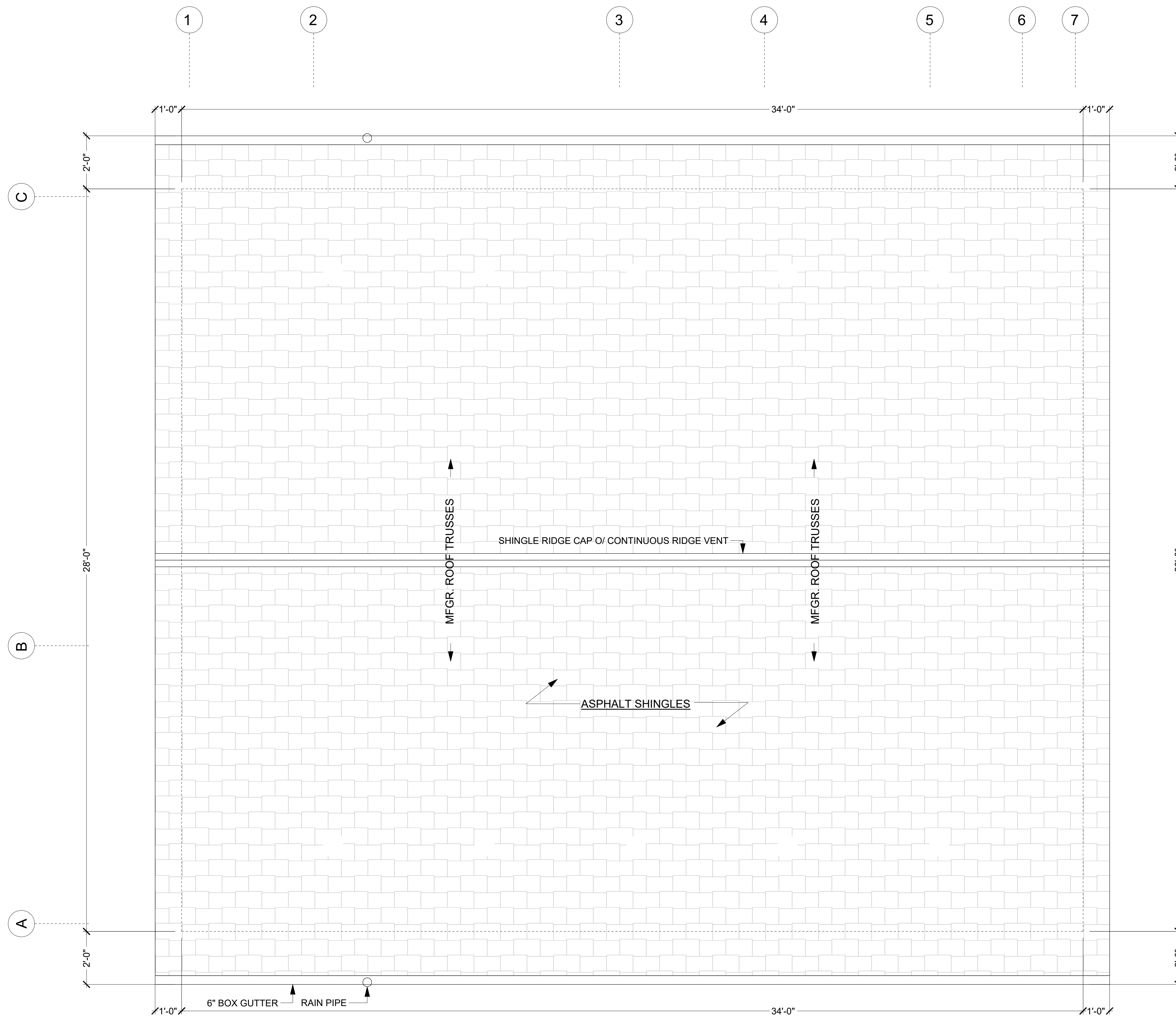
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VARIOUS

**PRICING SET  
NOT FOR CONSTRUCTION**

ROOF  
PLAN

A 101

Scale: Noted  
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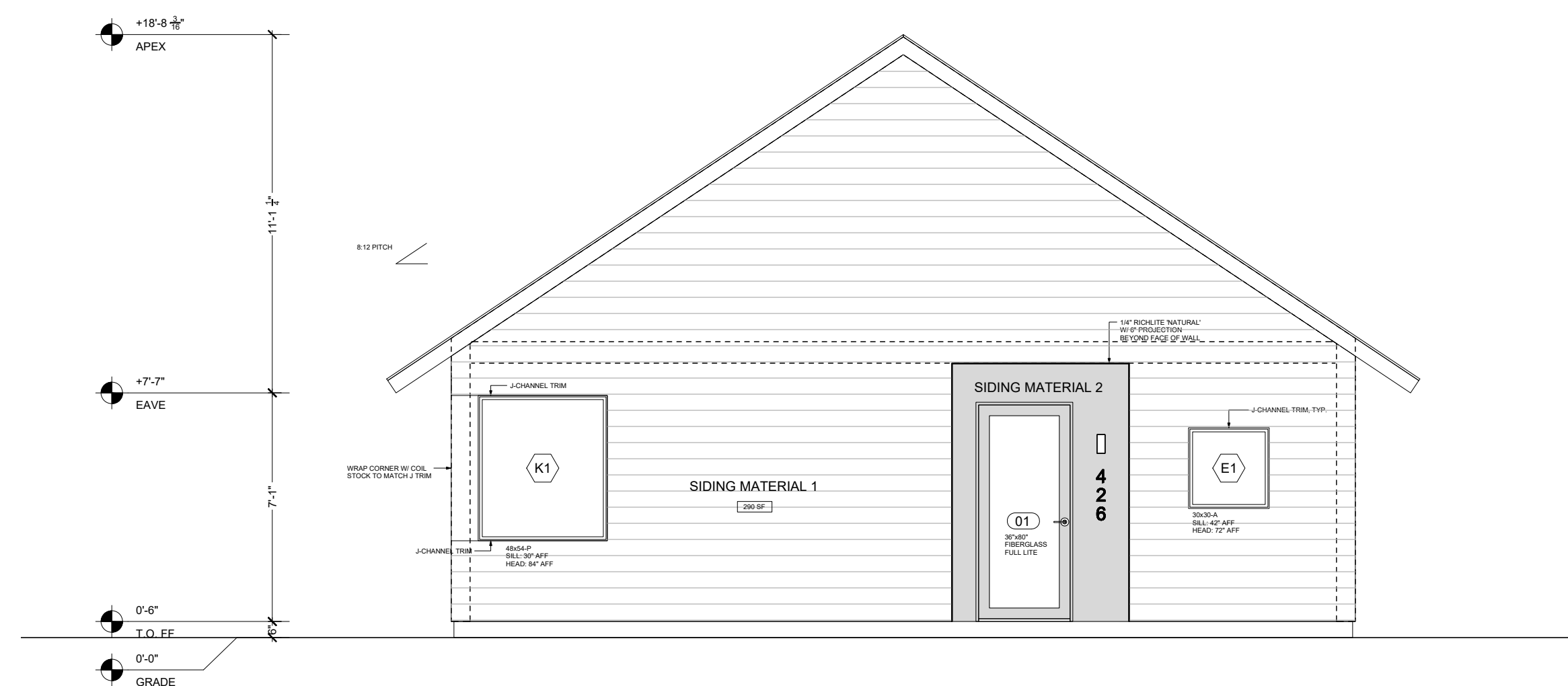
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PRICING SET  
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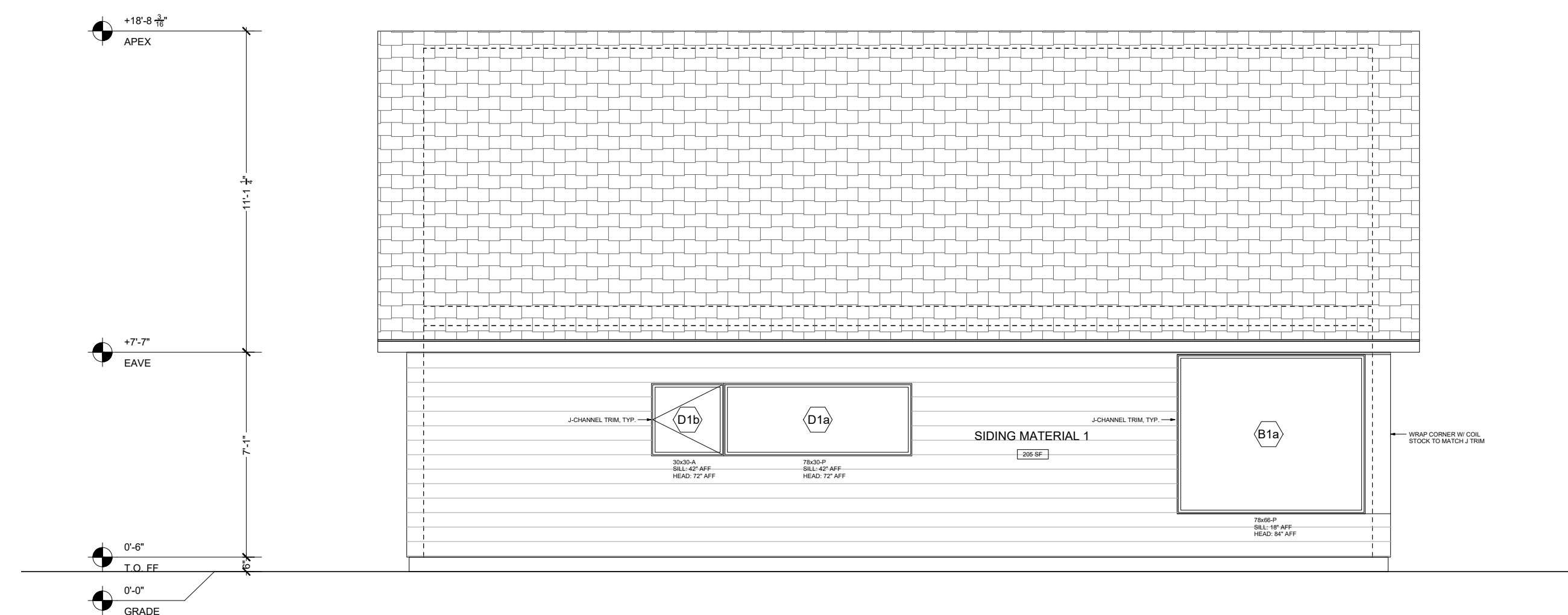
BUILDING  
ELEVATIONS

A 200

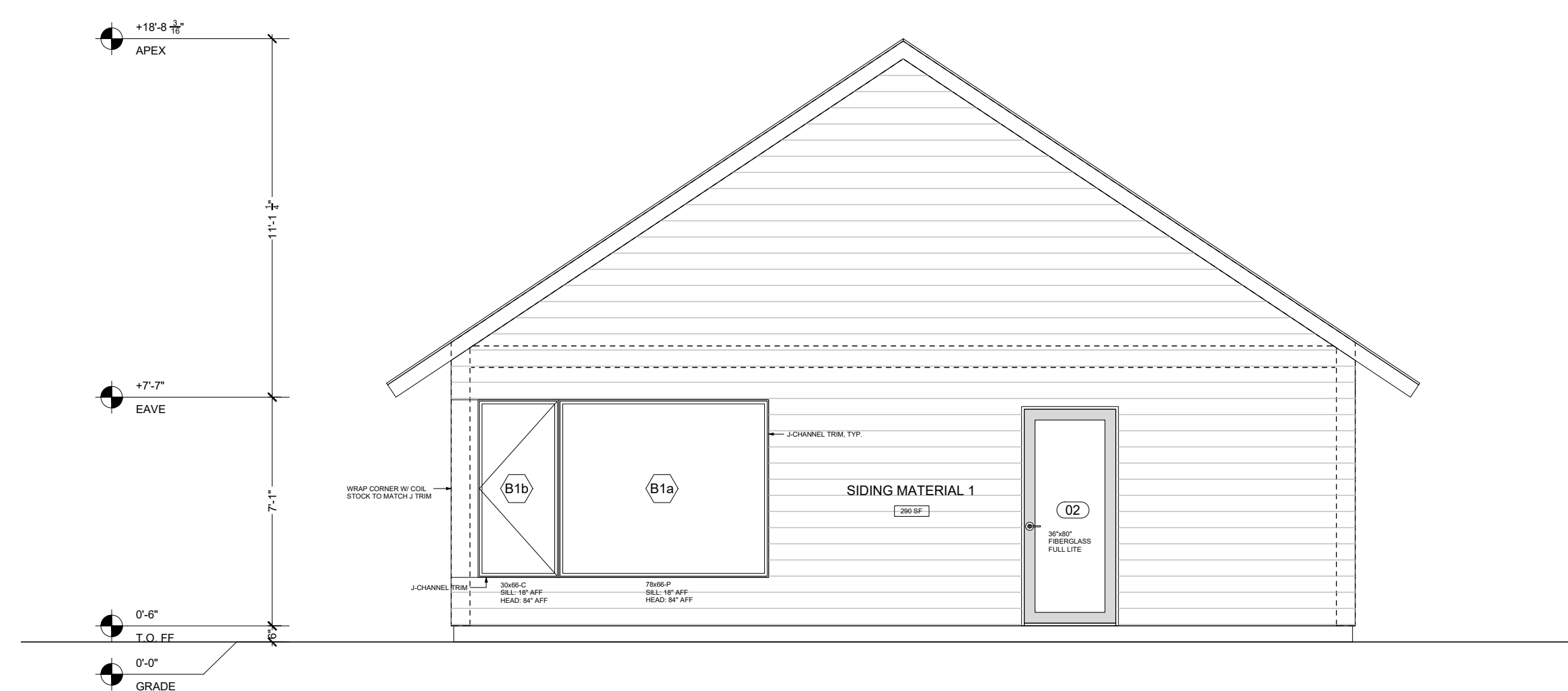
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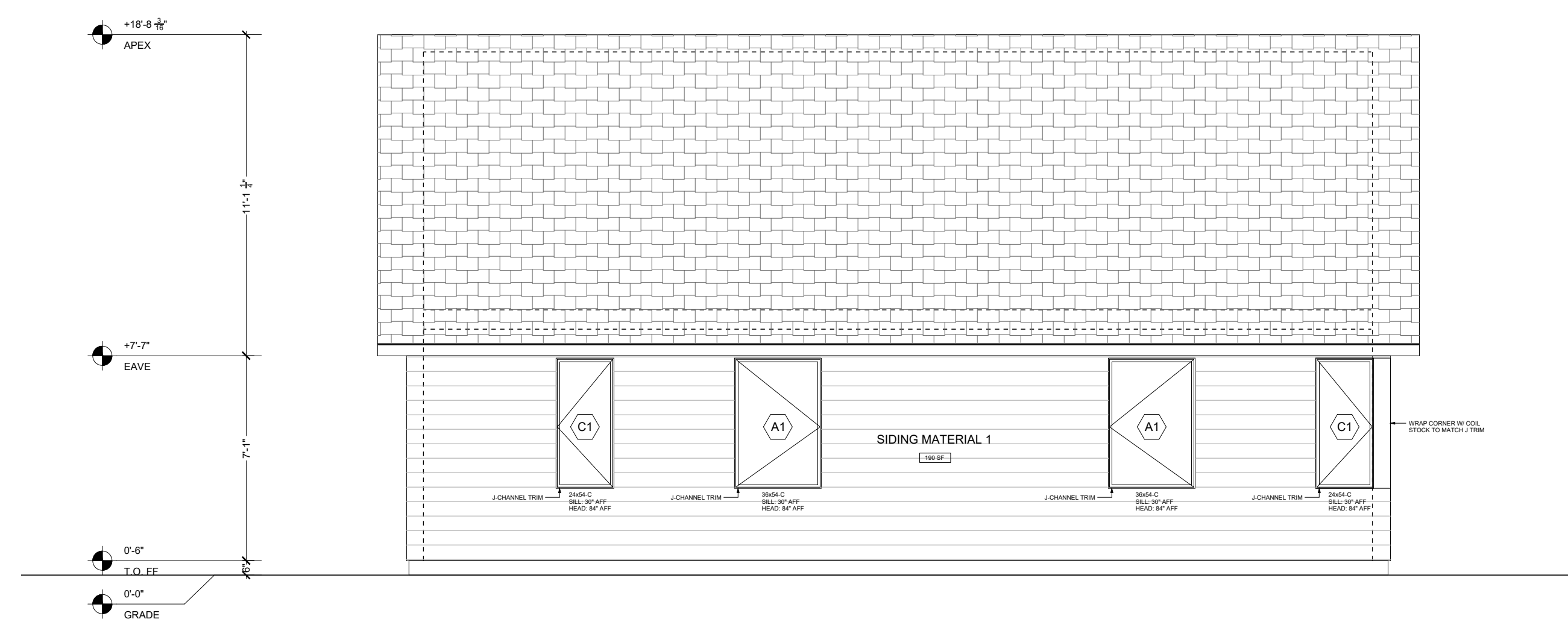
04 BUILDING ELEVATION: REAR  
A200 1/4" = 1'-0"



03 BUILDING ELEVATION: SOUTH  
A200 1/4" = 1'-0"



02 BUILDING ELEVATION: FRONT  
A200 1/4" = 1'-0"



01 BUILDING ELEVATION: NORTH  
A200 1/4" = 1'-0"

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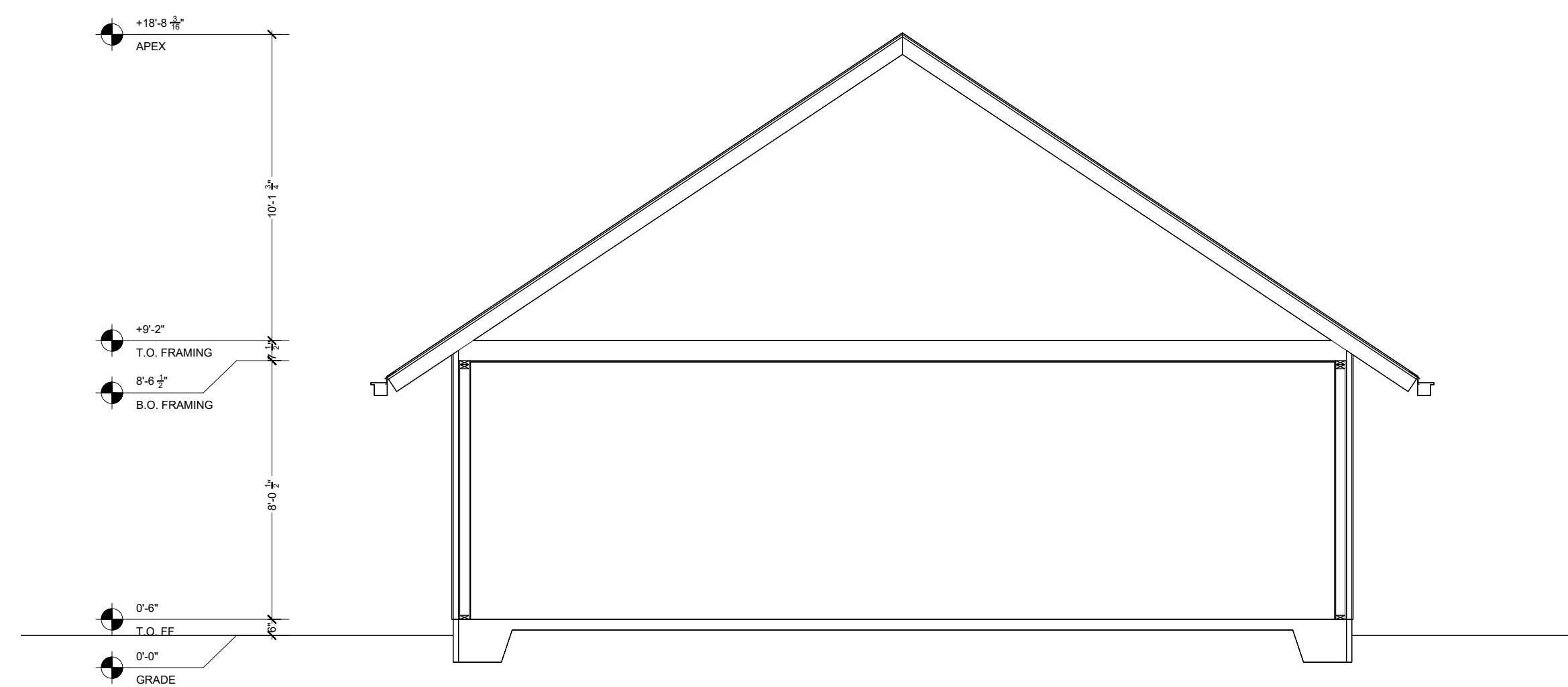
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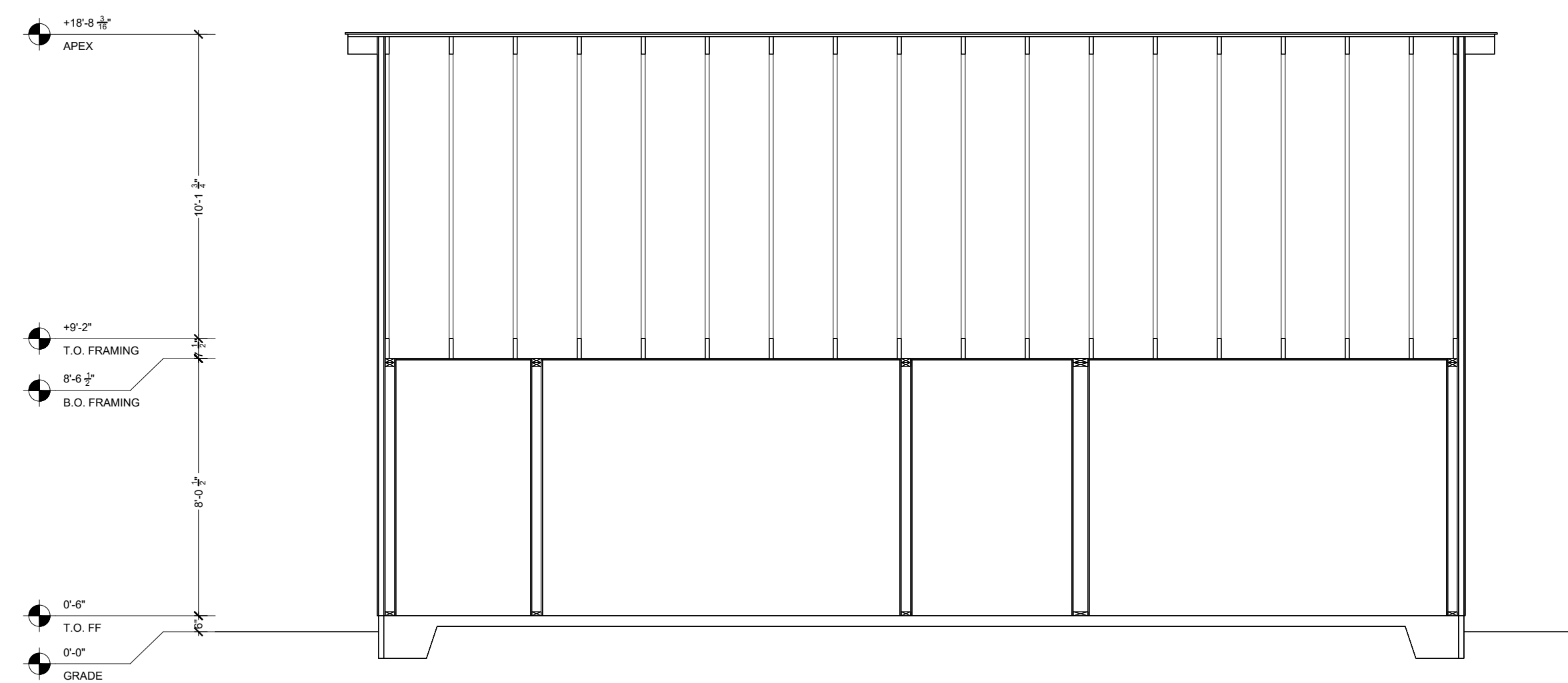
BUILDING  
SECTIONS

**A 300**

Scale: Noted  
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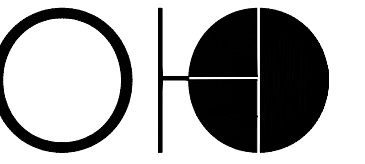
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03 BUILDING SECTION B  
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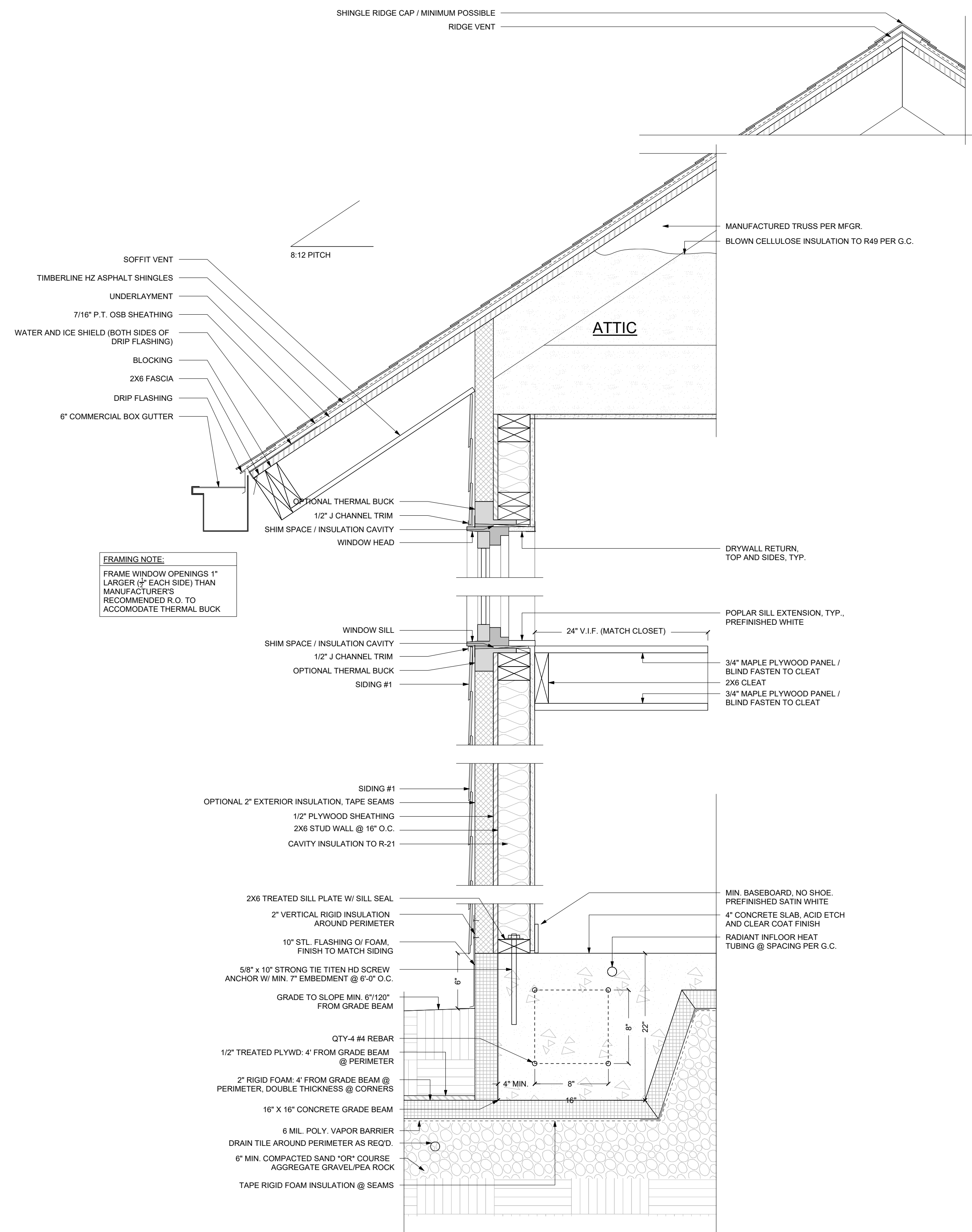
PROJECT ADDRESS  
VARIOUS

PRICING SET  
NOT FOR CONSTRUCTION

DETAIL  
WALL SECTION

A 400

Scale: Noted  
Date: 04/12/23



01 DETAILED WALL SECTION @ SIDE WALL  
A400 1/2" = 1'-0"

Project: Forest Lake School Redevelopment Site

Designer: Office Hughes Olsen

Date: Apr 18, 2023

## Narrative Specification for Bidding

### **Exterior Specifications**

Exterior Siding #1: LP Smartside Siding / Board-and-Batten or Lap / Smooth / Diamond Coat 'white'  
*or better*

Exterior Trim (outside corner trim and window trim): LP Smartside Siding / 2" or less / Diamond Coat 'white'  
*or better*

Exterior Siding #2: 1/4" Richlite / "Natural" or "Maple Valley"  
*no substitutions*

Roofing: Tamko - Heritage / 'Rustic Black' or equivalent in Timberline HDZ  
*or better*

Wall Insulation: Fiberglass Batts to R-21  
*or better*

Roof Insulation: Blown Cellulose Insulation to R-49  
*or better*

Gutters and Downspouts: Steel or Aluminum / 'white'  
*or better (vinyl will not be accepted)*

Windows: Vinyl Clad / Thermally-Broken / Double-Glazed Low-E Argon-Filled or equivalent / 'white' / Operation per plans (Example: Thermatru or Vector)  
*or better (double-hung windows will not be accepted)*

Exterior Doors: Insulated Fiberglass / Double-Glazed Lite / Paint Grade or Prefinished / 'white' - semigloss / Operation per plans  
*or better*

Leverset and Lockset: Keyed lockset + keyed leverset  
*or better*

## **Interior Specifications**

Flooring #1: Exposed Concrete Slab / Acid Wash / Clear coat w/ H&R Clarishield  
*or better (vinyl flooring and luxury vinyl tile will not be accepted)*

Flooring #2: Carpet / Choose one of the following:

- Interface - 'Interface Carpet Tile'
- Mohawk - 'EverStrand Residential Broadloom Carpet'
- Shaw Contract - 'Ecworx Carpet Tile'

*or better (vinyl flooring and luxury vinyl tile will not be accepted)*

Flooring #3: Marmoleum Clic-Loc or sim.

*or better (vinyl flooring and luxury vinyl tile will not be accepted)*

Kitchen Countertops and Backsplash: P-Lam or Laminate (Example: Wilsonart or Formica)  
*or better*

Kitchen Shelf o/ Counter: Maple Butcherblock / 'Plank' style / Eased Edges  
*or better*

Kitchen Cabinet Fronts: Paint Grade MDF flat fronts or Hardwood/Hardwood Veneer flat fronts  
*(P-Lam will not be accepted)*

Kitchen Sink Base Cabinet: Plywood carcass

Kitchen Base Cabinets (non-sink): Carcass per G.C.

Bathroom Cabinet Fronts: Paint Grade MDF flat fronts or Hardwood/Hardwood Veneer flat fronts  
*(P-Lam will not be accepted)*

Bathroom Vanity Cabinet: Plywood carcass

Bedroom Wardrobe Fronts: Paint Grade MDF flat fronts or Hardwood/Hardwood Veneer flat fronts  
*(P-Lam will not be accepted)*

Wardrobe Cabinet: Plywood carcass

Bench / Cubbies: UV-Resistant Maple Plywood (Bench is 18" tall and divided into roughly 24" cubbies)  
*or better*

Shower Pan and Surround: Fiberglass / 'white'  
*or better*

Window Details: Sheetrock Returns (sides and head) / Painted Poplar Sill Extension (sill)

Interior Gypsum Finishes: Painted / 'white' - eggshell

Interior Doors: Solid Core / Flat Panel / Paint Grade or Prefinished 'white' - semigloss / Operation per plans

Baseboard Trim: MDF / Paint Grade or Prefinished / 'white' - semigloss  
*or better*

Door Casings: MDF / Paint Grade or Prefinished / 'white' - semigloss  
*or better*

Interior Hardware: provide all cabinet doors and drawers with hardware pulls (plan for \$250 allowance)

Interior Door Hardware: provide lever style door pulls for all interior doors. Bedrooms and bathrooms require privacy sets, all others can be passage sets

## **MEP Systems**

Primary Heating & Domestic Hot Water System: Radiant in-slab heat per code / Navien combi-boiler or equal (gas or electric per G.C.) / Plan for 3 zones

Secondary Heating System: thermostat-controlled electric baseboard if req'd in any given space

Fresh Air Ventilation System: HRV with supply and extraction diffusers per code

Bath Ventilation: HRV extraction diffuser  
(bath fan not required if bathrooms are ventilated with HRV)

Kitchen Ventilation: HRV supply diffuser

Radon: Passive Radon Detection System required sub-slab / per G.C. / per code

Hardwired Fixtures (recessed lights, ceiling fans, wall sconces, exterior wall sconces, exterior motion detected floodlight): Per plans / per G.C. / per code / 'white'

Electrical Service: per G.C. / per code / utilities stubbed at the street

Data Service: per G.C. / per code / utilities stubbed at the street

Sewer Hook-Up: per G.C. / per code / utilities stubbed at the street

Water Hook-Up: per G.C. / per code / utilities stubbed at the street

## **Appliances and Fixtures**

*Note: All applicable appliances must be Energy-Star rated*

Range/oven: 30" / electric oven / electric or induction cooktop / stainless steel

Refrigerator/Freezer: 30" / stainless steel

Kitchen Sink: 33" double bowl kitchen sink / 1 hole / stainless steel

Dishwasher: 18" / stainless steel

Microwave: No microwave, but provide outlet for microwave in butler's pantry